



AVALON HOME INSPECTIONS INC.

678-782-3497

joe@avalonhomeinspections.net

<https://www.avalonhomeinspections.net>



AVALON PRE-DRYWALL INSPECTION

1206 Coldwater Ct
Griffin GA 30224

Raymond and Christine Renaud

MARCH 9, 2021



Inspector

Tyler Roberts

678-782-3497

tyler@avalonhomeinspections.net



Agent

Katie Reid

LaGrone International LLC

(404) 933-1460

katie@lagroneinternational.com

TABLE OF CONTENTS

1: General Information	4
2: Inspection Details	5
3: Roof	9
4: Exterior	12
5: Framing Members & Structure	16
6: Plumbing	25
7: Electrical	27
8: Heating and Cooling	30
9: Venting Components	31
10: Interior	32
11: Misc Items	38
Standard of Practice	39

SUMMARY

- ⊖ 3.1.1 Roof - Roof Covering: Missing underlayment in areas
- ⊖ 3.4.1 Roof - Roof,Chimney, Flashing Installed: Drip Edge Flashing-Missing
- ⊖ 4.6.1 Exterior - Porches: Post brackets missing fasteners
- ⊖ 4.7.1 Exterior - Foundation: Form Boards Remaining
- ⊖ 5.1.1 Framing Members & Structure - Roof Structure: Missing H Clips
- ⊖ 5.3.1 Framing Members & Structure - Ceilings Structure: Joist hanger missing fasteners
- ⊖ 5.9.1 Framing Members & Structure - Headers Properly Sized & Supported: Bracing not even with beam
- ⊖ 5.14.1 Framing Members & Structure - Proper Stud Spacing, Anchor bolt nuts : Anchor bolts
- ⊖ 5.14.2 Framing Members & Structure - Proper Stud Spacing, Anchor bolt nuts : Damaged Stud
- ⊖ 5.14.3 Framing Members & Structure - Proper Stud Spacing, Anchor bolt nuts : Mudsill Straps
- ⊖ 5.14.4 Framing Members & Structure - Proper Stud Spacing, Anchor bolt nuts : Bathroom Wall Sheathing Loose/Damaged
- ⊖ 5.15.1 Framing Members & Structure - Fireblocks & Fire Stops in Place: Missing Fire Stop
- ⊖ 7.4.1 Electrical - Nail Guards Present & Properly Installed: Missing Nail Guards
- ⊖ 10.2.1 Interior - Walls & Columns Plumb/Bowed: Bowed Studs
- ⊖ 10.4.1 Interior - Stairs Properly Framed and Railing Block Installed: Missing Handrail
- ⊖ 10.6.1 Interior - Cabinet/Vanity Blocking Installed: Missing Cabinet Blocking
- ⊖ 10.7.1 Interior - Hardware Blocking Installed: Missing Hardware Blocking
- ⊖ 10.8.1 Interior - Pedestal Sink Blocking Installed: Missing Pedestal Sink Blocking

1: GENERAL INFORMATION

Information

Information: Inspection Date

03/09/2021

Client information: Should attempt to obtain all warranties, guarantees, transferable warranties for: HVAC systems, any foundation work, structural repairs, water proofing, equipment, new roof (possibly age of roof), appliances, equipment, sump pumps, etc. Permits should be researched on all homes especially those of flipped/recently renovated homes

Please read the entire report. Other observations and narratives or deficiencies may be contained within the body of the report but not in this summary page. Please also use this report as a tool to improve and keep your home in good condition now and for the future because future issues and surprises will always happen when owning a home ex: roof leaks, surprises behind walls that are unable to be viewed, components of the home fail over time, plumbing leaks etc. & remember this report and inspection is only proof of the condition of the home at the time of the inspection and does not guarantee or warranty anything in regards to the condition of the home after the day of the inspection. All items listed in the report were the condition at the time of the inspection that were observed and there are no guarantees for the future conditions or failure of a component regarding the home are giving. Good Eye LLC agrees to perform a visual & written inspection report identifying the defects that the inspector both observed and deemed material. Good Eye, LLC does not perform any re-inspections of a home after the initial home inspection. Reason being the person/company/licensed professional completing the work should provide you with receipts of work completed = they have "stamped" it put their name on it verifying it is done correctly. The report is only supplementary to the sellers disclosure. The comments are only certain recommendations for improvements it is up to the client to decide on any & all repairs needed, all areas of repair should be done by a professional and when reviewing repairs they should always further review evaluate and repair as needed. This report is for the client only listed on the report and not for any other person with intent to or actual completion of purchasing the home. Respectfully submitted Good Eye, LLC

2: INSPECTION DETAILS

Information

General Site Information: Style of Home

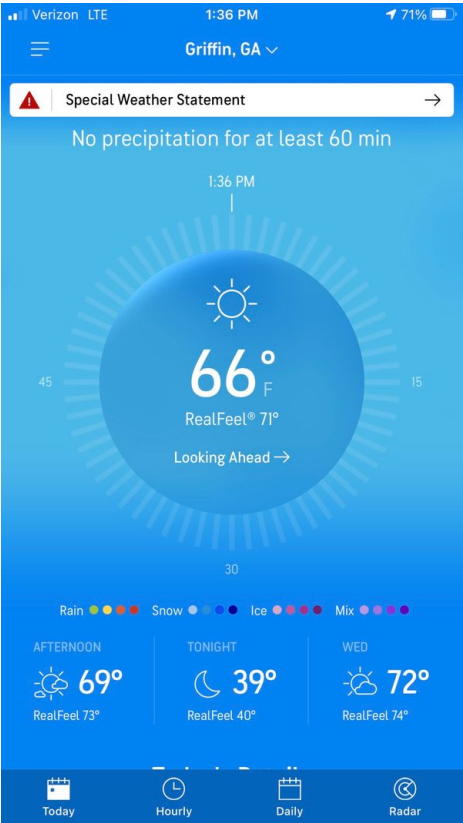
Single Family 2 Story

General Site Information: Weather Conditions

Clear

General Site Information: Outside Temperature

66



General Site Information: In Attendance

Inspector, Buyer's Agent, Builder

Recommend client gain copies of the pre-drywall inspection from the county inspectors, they may have more information and or areas that need to be repaired prior to drywall. This is not a code compliant inspection

General Site Information: Rain in the last 3 Days

No

Miscellaneous wires are on most homes Time Warner, Cincinnati Bell, Direct TV & Dish. Items not inspected include: Low voltage wiring, oil tanks, working ability of humidifiers, underground sprinklers, landscape lighting, antennas, water softeners, washer/dryer, speaker systems, underground sewer lines & solar powered equipment/generators are not part of a home inspection.

[Underground sewer lines are not inspected/not visible, if client has concerns you should hire a plumber to do a sewer scan with camera to ensure no broken sewer lines](#)

Vacant home disclosure & awareness: Vacant homes have a greater potential for developing fungal growth or a microbial growth due to not being lived in, air circulation issues and the potential for leaks to be present when no one is aware which can breed the growth of fungal organisms. Homes built prior to 1989 when the US banned asbestos may still contain this product, not able to inspect behind wallpaper or hidden/blocked items. Home inspectors & Good Eye, LLC are not liable for any issues that arise after we have left the inspection & Good Eye, LLC is not a mold expert and we do not do mold testing. If the client would like a mold test/air sampling completed please refer to this link to find a local mold expert

[Click here EPA link on mold in homes](#)

Homes built prior to 1989 when the US tried to ban asbestos but it was overturned and may still contain this product, not able to inspect behind wallpaper or hidden/blocked items in red mark throughout this report indicating damage or items marked as needing repair may result in further damage or may present a health or safety hazard if not repaired by a qualified contractor . [Link about asbestos products](#)

Possible lead paint in the homes built around 1978 due to age: [Click here for info on lead paint in homes](#)

If you are having an appraisal done on the home the appraiser may point out other areas that the bank will see and future or further inspections & repairs may be needed to secure bank financing. **Items marked in red throughout the report should be repaired/monitored/replaced**

General Site Information: Additional building permits and inspections

Building permits and final inspections will be completed by the county. they're most likely will be more that will need to be addressed by the builders based on the county's recommendations

General Introduction: General Introduction

Remember the summary is not to be used as representative of the entire report, please read the report in its entirety to gain the best understanding of the condition of your home.

Homes that are occupied at the time of inspection may have conditions that change from the time of inspection to the time of the closing. It would be wise for the prospective home owner to perform a walk through inspection after the home has been vacated to determine if there are any conditions that may have changed. Any changes should be addressed with the seller prior to closing.

What Really Matters?

Buying a home? The process can be stressful. A home inspection is supposed to give you peace of mind, but often has the opposite effect. You will be asked to absorb a lot of information in a short time. This often includes a written report, checklist, photographs, environmental reports and what the inspector himself says during the inspection. All this combined with the seller's disclosure and what you notice yourself makes the experience even more overwhelming.

What should you do?

Relax. Most of your inspection will be maintenance recommendations, life expectancies and minor imperfections. These are nice to know about. However, the issues that really matter will fall into four categories:

1. Major defects. An example of this would be a structural failure.
2. Things that lead to major defects. A small roof-flashing leak, for example.
3. Things that may hinder your ability to finance, legally occupy or insure the home.
4. Safety hazards, such as an exposed, live buss bar at the electric panel.

Anything in these categories should be addressed. Often a serious problem can be corrected inexpensively to protect both life and property (especially in categories 2 and 4).

Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. Realize that sellers are under no obligation to repair everything mentioned in the report. No home is perfect. Keep things in perspective. Do not kill your deal over things that do not matter. It is unwise to demand that a seller address deferred maintenance, conditions already listed on the seller's disclosure or nit-picky items.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS.

The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION.

When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made. Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

This inspection was performed visually. At some areas the level, framing square (right angle), and or stringing the wall framing were used to check for leaning walls or bowing. We did not inspect using a tape measure to determine where walls, floors or stairs are to be located.

Blue prints were not used by me to determine if the footers or layout locations are correct. I did not refer to any specifications as this is not my intended purpose for inspecting the home.

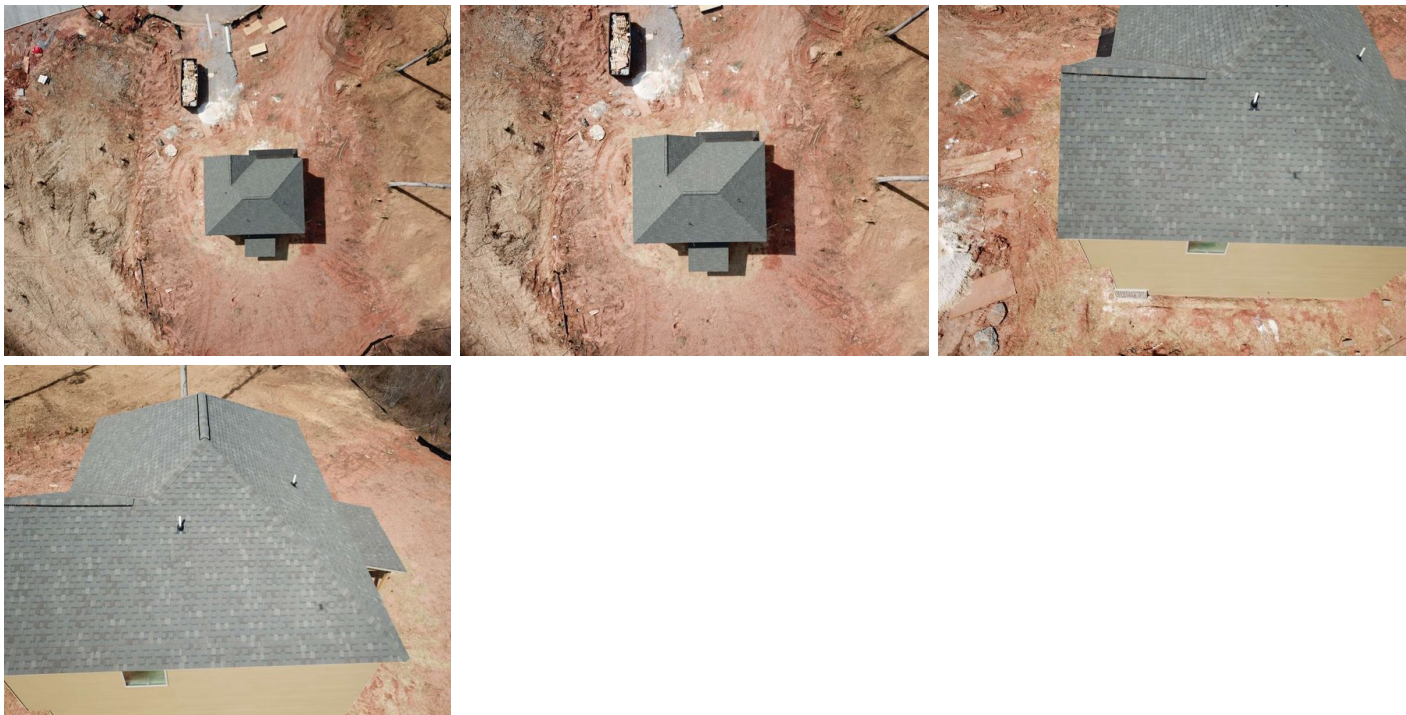
3: ROOF

Information

Roof Structure Engineered Wood Trusses, OSB	Viewed Roof Covering From Ground, Drone	Roof Covering type Architectural, Not Installed
Roof-Type Gable, Hip, Shed	Chimney (Exterior) Not Present	Attic Ventilation Soffit Vents, Ridge vents
Attic info No Access		

Roof Overview Pictures

Roof Overviews



Roof Covering: Roof Covering Good

The roof covering was inspected and appears to be in acceptable condition. It is recommended that homeowners practice roof maintenance by keeping the gutters clean, and regularly removing leaves and other debris to allow water to drain effectively from the roof.

Regardless of the type of shingle used, there are two significant factors with regard to wear: Exposure and Slope. Sunlight is one of the biggest enemies of asphalt roofs and in many areas, the south and west exposures wear out the fastest. The steeper the slope, the longer the shingles will last.

As asphalt shingles wear, they lose their granular covering. The granular material protects the shingles from ultra-violet light. As granules wear off, the shingles dry out and become brittle. They crack, buckle and curl. Shingles wear out first where the granular material is lost. This may be due to heavy foot traffic, abrasion from tree branches, erosion from downspouts discharging onto the roof surface, or manufacturing defects.

For more information on Roof Maintenance click [here](#).

Shingles Straight and Flat: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Shingles Properly Trimmed around Vents: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Roof,Chimney, Flashing Installed: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Attic Vents Properly Installed: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Limitations

Roof Covering

NOT INSTALLED

Roof System was not installed at the front of home in two areas. This will be installed at a later time.



Builder recommendations

3.1.1 Roof Covering

MISSING UNDERLAYMENT IN AREAS

FRONT OF HOME

There is missing/insufficient underlayment at the referenced areas. This should be corrected prior to shingle installation.

Recommendation

Contact a qualified roofing professional.



3.4.1 Roof,Chimney, Flashing Installed

DRIP EDGE FLASHING-MISSING



Drip edge flashing was not present in areas that were checked. Drip edge flashing is recommended to be installed at the eaves and rakes of the roof (called rake edge at the gables), to protect the edges of the sheathing from sustaining water damage. The installation of proper drip edge flashing is recommended to be conducted by a roofing contractor.

Here's a great video showing the repercussions of missing drip edge flashing: <https://www.thisoldhouse.com/how-to/testing-drip-edge-installations-roofing>

Recommendation

Contact a qualified roofing professional.

4: EXTERIOR

Information

Exterior Wall Sheathing
OSB

Exterior Entry Doors
Wood



Appurtenance
Covered Entry, Covered Porch



Exterior Overview Pictures



Wall Sheathing: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Fascia & Soffit: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Windows-no cracked broken glass-flashing installed well: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Exterior Doors: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.



Porches: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Limitations

House Wrap

SIDING INSTALLED

Siding was already installed at the time of inspection. Could not visibly inspect the building wrap at the time of inspection.



Builder recommendations

4.6.1 Porches

POST BRACKETS MISSING FASTENERS

The posts at the rear of home have brackets that are missing fasteners. These should be installed.

Recommendation

Contact your builder.



4.7.1 Foundation

FORM BOARDS REMAINING

REAR OF HOME

Form boards were remaining at the time of inspection. These should be removed once there purpose is complete.

Recommendation

Contact your builder.



5: FRAMING MEMBERS & STRUCTURE

Information

Ceiling Structure

Engineered Truss System, 2X4

Wall Structure

Wood, 2 X 4 Wood

Floor Structure

Slab

Foundation

Poured concrete

Interior foundation: Poured concrete

Roof Structure: Attic Structure

You have Engineered Trusses with OSB Sheathing for the attic structure. This is for your information.



Roof Structure: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Roof Sheathing : Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Ceilings Structure: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Ridge,Hip & Valley Rafters properly Braced: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Support Hangers Installed on all Required Components: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Attic Access Properly Framed: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Garage Door Opening Properly Sized: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Door/Window Cripples Installed: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Headers Properly Sized & Supported: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Headers & Beams properly Nailed: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Strike Plates Properly Secured: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Proper Stud Spacing, Anchor bolt nuts : Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Fireblocks & Fire Stops in Place: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Roof to Wall Connections: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Builder recommendations

5.1.1 Roof Structure

MISSING H CLIPS

Missing "H" clips in between roof deck sheathing in various areas. This can cause dips in the sheathing that is noticeable roof line from outside. I recommend qualified roofing contractor install clips when roof is replaced as this is the most cost effective approach

Recommendation

Contact a qualified professional.



Master Bedroom



Master Bedroom



Master Bedroom



Master Bathroom/Closet



Master Closet



Bedroom right of stairs/master



Bedroom left of hall bathroom



Bedroom left of all bathroom

5.3.1 Ceilings Structure

JOIST HANGER MISSING FASTENERS

FOYER

Joist hanger(s) missing fasteners at referenced area. There should be a proper amount of fasteners for the hanger to prevent settling/failure.

Recommendation

Contact a qualified professional.



5.9.1 Headers Properly Sized & Supported

BRACING NOT EVEN WITH BEAM

KITCHEN

The stud pack is not squarely resting underneath the beam at referenced area. This should be corrected to avoid any settlement.

Recommendation

Contact your builder.



5.14.1 Proper Stud Spacing, Anchor bolt nuts

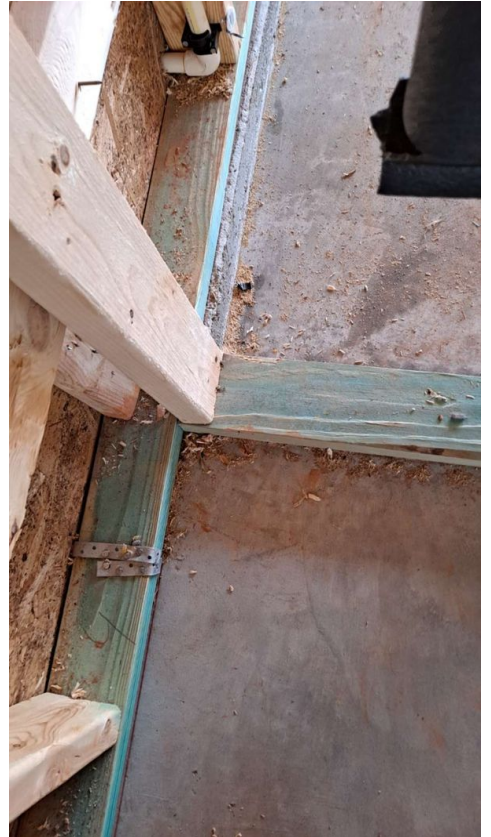
ANCHOR BOLTS

GARAGE

Missing bolt at mudsill at the perimeter exterior wall in several areas. These should be installed at every end cut and 36in of sill. This should be correct by qualified builder.

Recommendation

Contact your builder.



5.14.2 Proper Stud Spacing, Anchor bolt nuts

DAMAGED STUD

MASTER BATHROOM

The Wall Stud was cut/damaged at the time of inspection. We recommend to inspect and repair.

Recommendation

Contact your builder.



5.14.3 Proper Stud Spacing, Anchor bolt nuts

MUDSILL STRAPS

The perimeter mudsill straps are missing/do not have sufficient amount of fasteners installed. I recommend having corrected according to local jurisdictions requirements.

Recommendation

Contact your builder.



5.14.4 Proper Stud Spacing, Anchor bolt nuts
BATHROOM WALL SHEATHING LOOSE/DAMAGED
MASTER BATHROOM

The interior sheathing at the wall has been damaged or come loose at the referenced area. This should be properly secured and sealed.

Recommendation

Contact a qualified appliance repair professional.



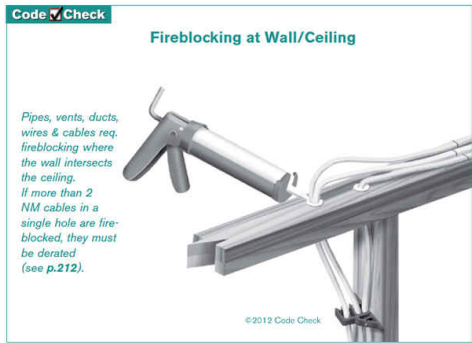
5.15.1 Fireblocks & Fire Stops in Place

MISSING FIRE STOP

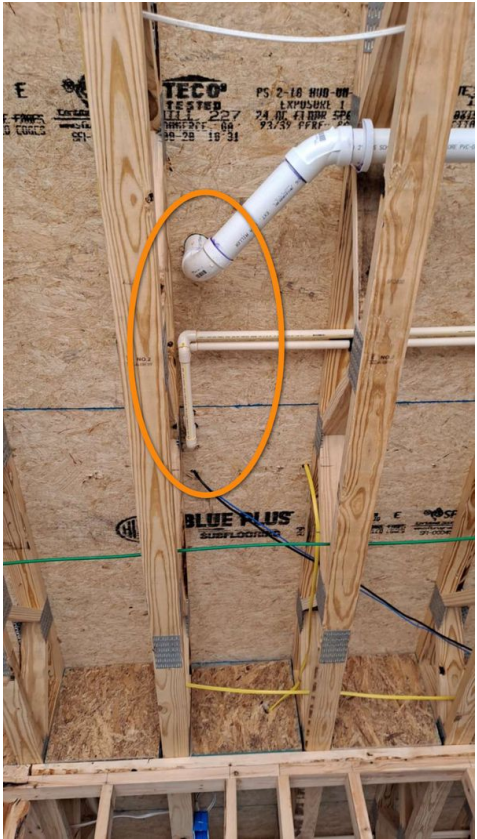
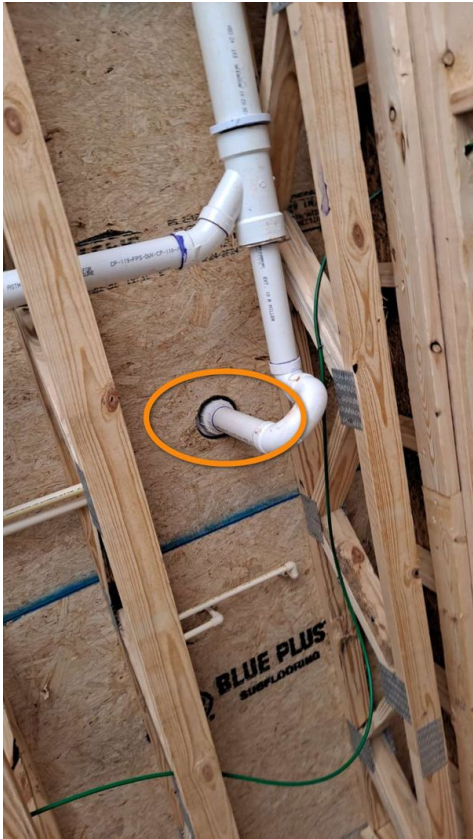
Fire Stop was missing in various areas at the time of inspection. We recommend to inspect and apply as needed.

Recommendation

Contact your builder.



Fire Stopping Diagram



6: PLUMBING

Information

Water Supply For Home
Public

**Plumbing Water Distribution
(Inside Home)**
CPVC

Sewage Disposal
Public

Plumbing Waste
PVC

Water Heater Power Source
Electric

All Stub Outs Secure: Secured
Properly Secured

Shower Arm Secure: Secured
Properly Secured

Plumbing Overviews



Water pressure Test

A pressurized water line test was conducted on the plumbing water supply system to detect any leaking in the water system. None were observed at the time of the inspection.



All Stub Outs Secure: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Shower Arm Secure: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Pipes Properly Placed Inside Wall: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Nail Guards Properly Installed & Secured: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Drains Have Visible Fall: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

7: ELECTRICAL

Information

Electric Panel Manufacturer Square D	Branch wire 15 and 20 AMP Copper	Panel Type Circuit breakers
Wiring Methods Romex	Grounding Foundation Rebar Ground (Ufer)	Wiring: In place stapled well in most locations
Electrical Service Conductors Below ground, Aluminum, 240/120 Volt		



Meter Box Set : Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.



Breaker Panel Set: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Grounding/Bonding Wire Properly Secured: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.



Nail Guards Present & Properly Installed: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Limitations

Wiring

GANG BOX SUPPORT

electrical gang box is missing proper support and is in need of correction.



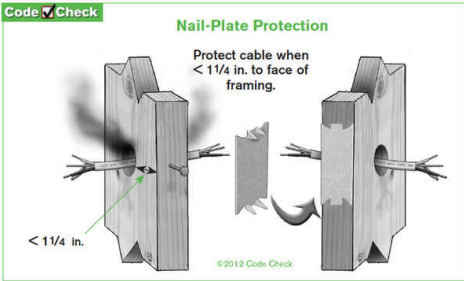
Builder recommendations

7.4.1 Nail Guards Present & Properly Installed

MISSING NAIL GUARDS

Nail Guards were missing in various locations at the time of inspection. Provided a few reference photos. Builder should inspect entire home and install as per code requirements.

Recommendation
Contact your builder.



Electrical Nail Guard Diagram



Foyer wall



Kitchen at rear of home



Kitchen



Kitchen

8: HEATING AND COOLING

Information

Energy Source Electric	Number of Heat Systems One	Ductwork Insulated
Cooling Equipment Energy Source Electricity	Central air location Left Side of Home	



Ducting Properly Installed and Sealed: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Return Air Duct Not Obstructed and Sealed: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Presence of installed Heat/Cooling source in each room: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

9: VENTING COMPONENTS

Information

Bathroom Vents Installed and Properly Sealed & Terminated: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Dryer Vent Installed and Properly Sealed & Terminated: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Hood Vent: Visible Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

10: INTERIOR

Information

Window Types

Single-hung, Tilt feature



Interior Overviews



Ceiling Framing: Visually Inspected

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Walls & Columns Plumb/Bowed: Visually Inspected

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Stairs, Steps, Landings, Stairways & Handrails: Visually Inspected

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Stairs Properly Framed and Railing Block Installed: Visually Inspected

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Cabinet/Vanity Blocking Installed: Visually Inspected

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Hardware Blocking Installed: Visually Inspected

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

This is not required by the Builder but a good recommendation to allow the towel bars, toilet paper holders etc to be secured better and prevent damage later during normal use.

Tub/Shower Blocking Installed: Visually Inspected

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Tub,Shower Level: Visually Inspected

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

Builder recommendations

10.2.1 Walls & Columns Plumb/Bowed

BOWED STUDS

MASTER BATHROOM

The Framed Wall had bows in various areas at the time of inspection. We recommend to inspect and repair prior to drywall.

Observation: The wall is bowed.

Performance Guideline: Walls will not bow more than 1 /2 inch out of line within any 32 inch horizontal measurement, or 1 /2 inch out of line within any 8 foot vertical measurement.

Corrective Measure: The contractor will repair the wall to meet the performance guideline.

Recommendation

Contact your builder.



Master Bathroom



Master Closet



Master Closet



Master Closet



Bedroom Right of Hall Bath



Bedroom left of Hall Bath



Half Bathroom



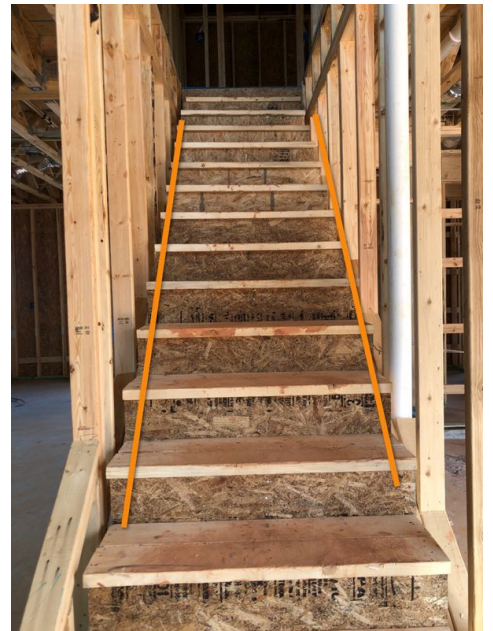
Lower level spare room

10.4.1 Stairs Properly Framed and Railing Block Installed

MISSING HANDRAIL

Recommendation

Contact a qualified professional.



10.6.1 Cabinet/Vanity Blocking Installed

MISSING CABINET BLOCKING

The Cabinet Blocking was not installed. This helps to make the cabinet installation easier and stronger. We recommend to inspect and install.

Recommendation

Contact your builder.

10.7.1 Hardware Blocking Installed

MISSING HARDWARE BLOCKING

The Hardware Blocking was not installed. This helps to make the hardware installation easier and stronger. We recommend to inspect and install.

This is only a recommendation and would cost more to install.

Recommendation

Contact your builder.

10.8.1 Pedestal Sink Blocking Installed

MISSING PEDESTAL SINK BLOCKING

The Pedestal Sink Blocking was not installed. This helps to make the pedestal sink installation easier and stronger. We recommend to inspect and install.

Recommendation

Contact your builder.

11: MISC ITEMS

Information

General overview

Foundation walls interior:
Foundation walls interior
Good condition no issues at the time

STANDARDS OF PRACTICE
