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RESIDENTIAL REPORT

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JULY 15, 2019

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Table of Contents

Table of Contents	2
SUMMARY	3
1: INSPECTION DETAILS	5
2: BUILT-IN APPLIANCES	6
3: STRUCTURAL COMPONENTS	9
4: EXTERIOR	13
5: ROOFING	21
6: PLUMBING	25
7: ELECTRICAL	35
8: HEATING	40
9: COOLING	42
10: INTERIORS	49
11: INSULATION, VENTILATION	53
STANDARDS OF PRACTICE	56

SUMMARY

88	10	17	2
ITEMS INSPECTED	NOTEWORTHY ITEM/ DIY	RECOMMENDATION	SAFETY HAZARD

- 2.3.1 Built-in Appliances - Range/Oven/Cooktop: Burner Not Lighting - Gas
- 3.1.1 Structural Components - 6) Foundation: Evidence of Wood Destroying Organisms
- 4.1.1 Exterior - 13) Wall Cladding: Crack/s in Stucco - Minor
- 4.3.1 Exterior - 15) Entry Doors: Double-Keyed Deadbolt
- 4.9.1 Exterior - 21) Vegetation: Tree Debris on Roof
- 4.9.2 Exterior - 21) Vegetation: Tree/Shrubs/Bushes Touching Dwelling
- 4.10.1 Exterior - 22) Grading, Drainage: Animal Enclosure?
- 4.11.1 Exterior - 23) Patio, Walks, Driveway: Walkway - Trip Hazard
- 5.1.1 Roofing - 25) Roof Coverings: Cracked Tiles - Multiple
- 5.2.1 Roofing - 26) Drainage Systems*: Debris
- 6.4.1 Plumbing - 32) Fixtures, Faucets : Fixtures Corroded
- 6.4.2 Plumbing - 32) Fixtures, Faucets : Fixtures Loose Or Broken
- 6.4.3 Plumbing - 32) Fixtures, Faucets : Toilet/s Loose
- 6.4.4 Plumbing - 32) Fixtures, Faucets : Shower Grout - Deteriorated
- 6.4.5 Plumbing - 32) Fixtures, Faucets : Reverse Osmosis - shut off
- 6.7.1 Plumbing - 35) Cross Connections*: No High-Loop On Dishwasher
- 6.10.1 Plumbing - 38) Functional Drainage: Poor/Slow Drainage
- 6.11.1 Plumbing - 39) Water Heating Equipment And Controls : Corrosion On Shutoff Valve
- 7.9.1 Electrical - 52) Lights, switches: Light Inoperable
- 7.9.2 Electrical - 52) Lights, switches: Ceiling Fan - Unbalanced
- 9.1.1 Cooling - 64) Cooling Equipment: Insulation Damaged/Missing
- 9.1.2 Cooling - 64) Cooling Equipment: R-22 Refrigerant
- 9.1.3 Cooling - 64) Cooling Equipment: Service A/C
- 9.4.1 Cooling - 67) Distribution System : Ductwork - Damaged
- 9.5.1 Cooling - 68) Air Filters: Filter Dirty
- 10.1.1 Interiors - 70) Walls, Ceilings, Floors: Moisture Damage - Wall/s
- 10.1.2 Interiors - 70) Walls, Ceilings, Floors: Interior - General damage
- 10.4.1 Interiors - 73) Counters, Cabinetry: Cabinets & Countertops - General Wear

10.6.1 Interiors - 75) Windows : Window/s - Does not Latch/Lock

1: INSPECTION DETAILS

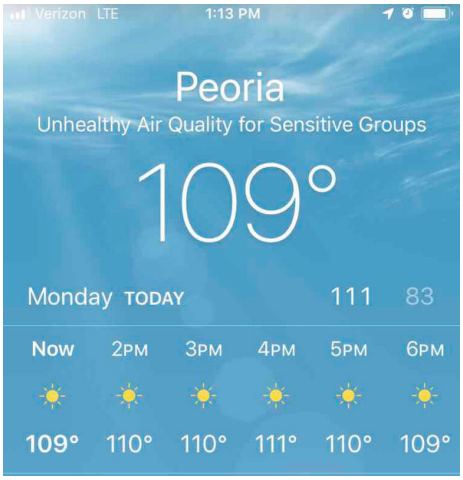
Information

Type of Building
Single Family

Occupancy
Vacant

Weather Conditions
Clear, Dry, Hot

Temperature (approximate)
109 Fahrenheit (F)



2: BUILT-IN APPLIANCES

		IN	NI	NP	O
2.1	Dishwasher	X			
2.2	Refrigerator	X			
2.3	Range/Oven/Cooktop	X			
2.4	Microwave	X			
2.5	Garbage Disposal	X			
2.6	Washing Machine	X			
2.7	Dryer	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

Dishwasher: Condition
Satisfactory Where Visible

Refrigerator: Condition
Satisfactory Where Visible

Range/Oven/Cooktop: Range/Oven Energy Source
Electric, Gas

Range/Oven/Cooktop: Exhaust Hood Type
Vented

Range/Oven/Cooktop: Condition
Satisfactory with exceptions listed below

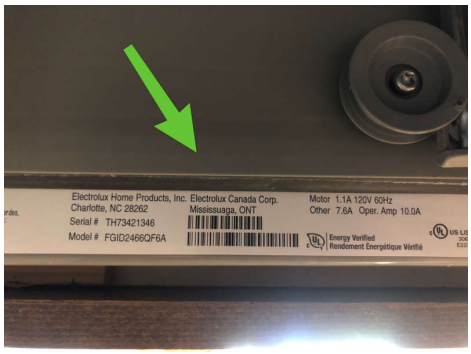
Microwave: Brand
Kitchenaid

Microwave: Condition
Satisfactory

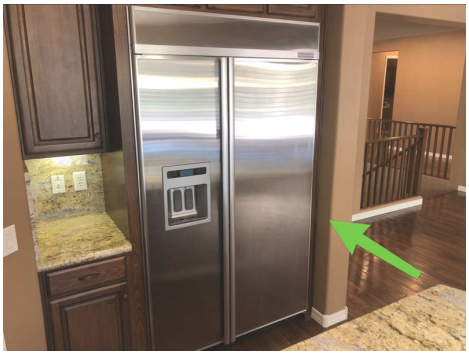
Garbage Disposal: Brand
Kitchen
Badger

Garbage Disposal: Condition
Satisfactory Where Visible

Dishwasher: Brand
Frigidaire

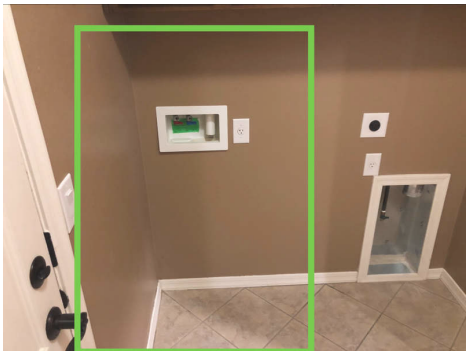
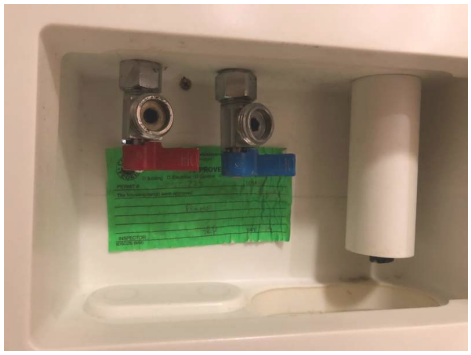


Refrigerator: Brand
KitchenAid

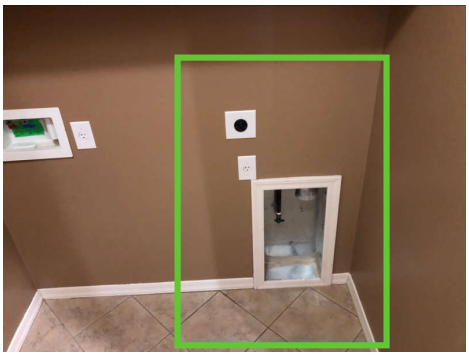


Range/Oven/Cooktop: Range/Oven Brand
Kitchenaid

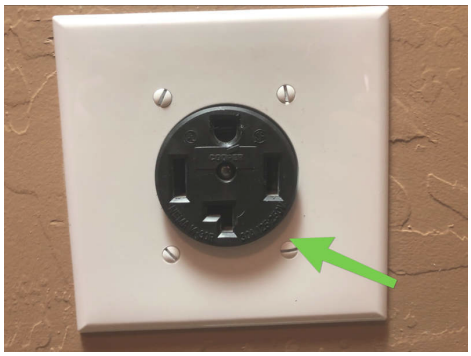
Washing Machine: Brand
Not Present

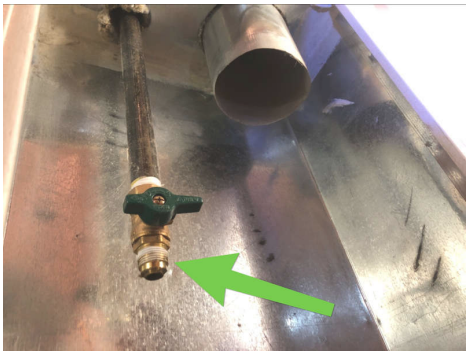
Dryer: Brand
Not Present



Electric & Gas Options



Electric



Gas

Observations

2.3.1 Range/Oven/Cooktop

Recommendation

BURNER NOT LIGHTING - GAS

One or more of the gas burners on the range would not light. Recommend qualified appliance repair man evaluate & repair.

Recommendation

Contact a qualified appliance repair professional.

3: STRUCTURAL COMPONENTS

		IN	NI	NP	O
3.1	6) Foundation	X			
3.2	7) Floor Structure	X			
3.3	8) Wall Structure	X			
3.4	9) Columns	X			
3.5	10) Roofs/Ceiling Structure	X			
3.6	11) Under Floor Crawlspace*	X		X	
3.7	12) Observation Method	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

6) Foundation: Condition
Satisfactory-Inspection Limited

7) Floor Structure: Type
Framed, Concrete

7) Floor Structure: Condition
Satisfactory Where Visible

8) Wall Structure: Type
Wood Framed, Concrete

8) Wall Structure: Condition
Satisfactory Where Visible

9) Columns: Type
Undetermined

9) Columns: Condition
Satisfactory Where Visible

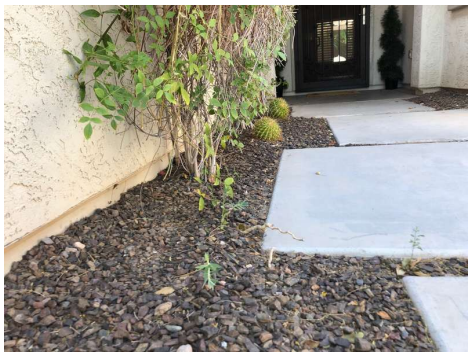
10) Roofs/Ceiling Structure: Condition
Satisfactory

11) Under Floor Crawlspace*: Condition
Not Present

12) Observation Method : Observed From
Partial Attic Accesed, Interior Of Residence, Exterior Of Residence

6) Foundation: Type

Post Tension Slab on Grade



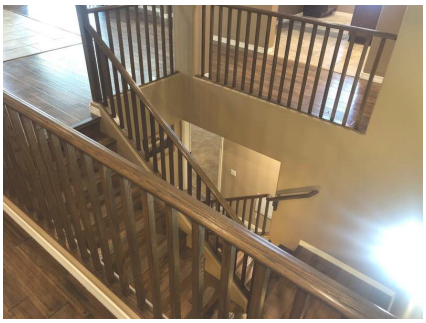
10) Roofs/Ceiling Structure: Type
Truss System

Limitations

6) Foundation

BASEMENT

Because there is a basement in the home sections of the foundation are not visible and are considered below grade. For this reason the inspection of the foundation is limited.



Observations

3.1.1 6) Foundation

Recommendation

EVIDENCE OF WOOD DESTROYING ORGANISMS

There is evidence that suggest wood destroying organisms are present/were present at the time of the inspection. Recommend a Termite Inspector further evaluate and recommend treatment.

Recommendation

Contact a qualified pest control specialist.

4: EXTERIOR

		IN	NI	NP	O
4.1	13) Wall Cladding	X			
4.2	14) Flashing And Trim	X			
4.3	15) Entry Doors	X			
4.4	16) Windows	X			
4.5	17) Garage Door Opener	X			
4.6	18) Decks, Balconies, Steps	X			
4.7	19) Porch, Areaway, Railings	X			
4.8	20) Eaves, Soffits, Fascia	X			
4.9	21) Vegetation	X			
4.10	22) Grading, Drainage	X			
4.11	23) Patio, Walks, Driveway	X			
4.12	24) Retaining Walls	X		X	

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

13) Wall Cladding: Condition
Satisfactory Where Visible

14) Flashing And Trim : Flashing Condition
Satisfactory Where Visible

14) Flashing And Trim : Trim Condition
Satisfactory Where Visible

15) Entry Doors: Operation
Operational

16) Windows : Operation
Operational

16) Windows : Condition
Fair

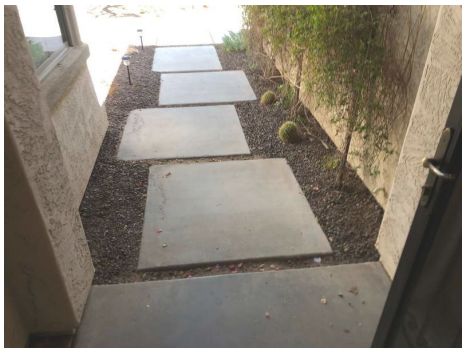
17) Garage Door Opener: Door Opener Operation
Operational

18) Decks, Balconies, Steps: Balcony Condition
Not Present

18) Decks, Balconies, Steps: Deck Condition
Not Present

18) Decks, Balconies, Steps: Step Condition
Not Present

19) Porch, Areaway, Railings: Areaway Condition
Satisfactory



19) Porch, Areaway, Railings: Porch Condition
Not Present

19) Porch, Areaway, Railings: Railing Condition
Not Present

21) Vegetation: Adverse Effect On Structure

22) Grading, Drainage: Drainage Condition
Satisfactory

22) Grading, Drainage: Grading Condition
Satisfactory

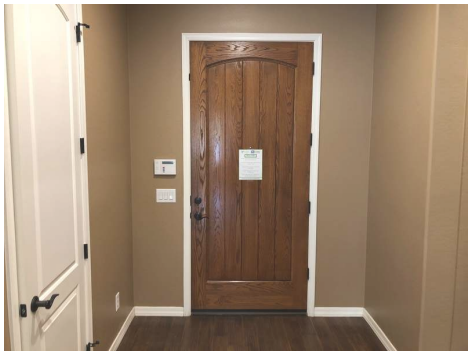
23) Patio, Walks, Driveway: Condition
Satisfactory With Exception/s Listed Below

23) Patio, Walks, Driveway: No Adverse Effect On Structure Observed

24) Retaining Walls: Condition
Satisfactory

13) Wall Cladding: Type
Stucco, Stone Vaneer

15) Entry Doors: Condition
Satisfactory With Exceptions Listed below



17) Garage Door Opener: **Garage Door Condition**
Satisfactory

17) Garage Door Opener: **Door Opener/s Condition**
Satisfactory

19) Porch, Areaway, Railings: **Gate/s Condition**
Satisfactory

20) Eaves, Soffits, Fascia: **Eve Condition**
Satisfactory

20) Eaves, Soffits, Fascia: Fascia Condition

Satisfactory

20) Eaves, Soffits, Fascia: Soffit Condition
Satisfactory

24) Retaining Walls: Type
Brick

Observations

4.1.1 13) Wall Cladding

Noteworthy Item/ DIY

CRACK/S IN STUCCO - MINOR

Siding showed cracking in one or more places. This is typically a result of temperature changes or settling, which is normal with homes clad in stucco. At this time it should be considered cosmetic and we recommend monitoring. Seal and paint as desired.

Recommendation

Recommended DIY Project

4.3.1 15) Entry Doors

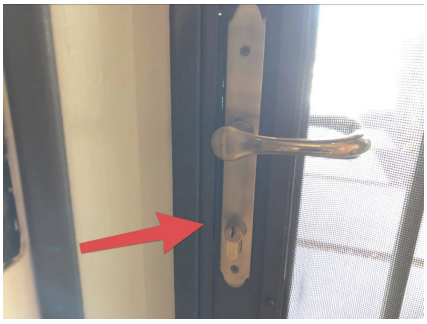
Safety Hazard

DOUBLE-KEYED DEADBOLT

The deadbolt on one or more of the entry doors has a deadbolt that is keyed on the inside. Thi is a safety hazard in the case of an emergency. Recommend correction or replacement by liscenced contractor or DIY.

Recommendation

Contact a qualified door repair/installation contractor.



4.9.1 21) Vegetation

TREE DEBRIS ON ROOF

Recommendation

Tree debris observed on roof. This can cause improper drainage to gutters, downspouts, valleys and other parts of the roof. Recommend clearing debris.

Recommendation

Contact a qualified handyman.

4.9.2 21) Vegetation

Recommendation

TREE/SHRUBS/BUSHES TOUCHING DWELLING

Trees/Shrubs observed coming in contact with the dwelling. This can be a pathway for insects and should be Trimmed back at least 1 foot from touching any section of the residence. Recommend all work be done by licensed tree trimming contractor.

Recommendation

Contact a qualified tree service company.

4.10.1 22) Grading, Drainage

Noteworthy Item/ DIY

ANIMAL ENCLOSURE?

There is a section in the back yard that appears to be for animals. Contact seller for more info.

Recommendation

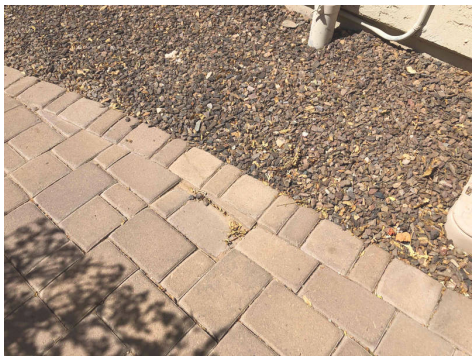
Recommended DIY Project

4.11.1 23) Patio, Walks, Driveway

Recommendation

WALKWAY - TRIP HAZARD

At the time of the inspection there was one or more trip hazard observed. Recommend corrections be made by licensed Contractor.



Recommendation

Contact a qualified professional.

5: ROOFING

		IN	NI	NP	O
5.1	25) Roof Coverings	X			
5.2	26) Drainage Systems*	X			
5.3	27) Flashings/ Penetrations, Skylights*, Chimneys*	X			
5.4	28) Evidence Of Leaking *	X			
5.5	29) Method Used To Observe	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

25) Roof Coverings: Condition
Satisfactory (Minor Damage)

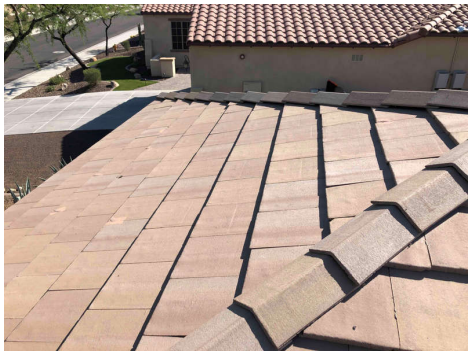
26) Drainage Systems*: Condition
Not Satisfactory

28) Evidence Of Leaking *: No Evidence Of Leaking Observed

29) Method Used To Observe : Method Of Observation
Walked

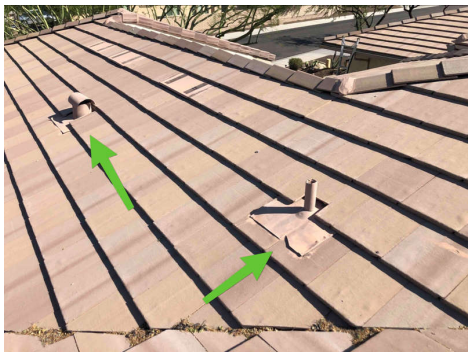
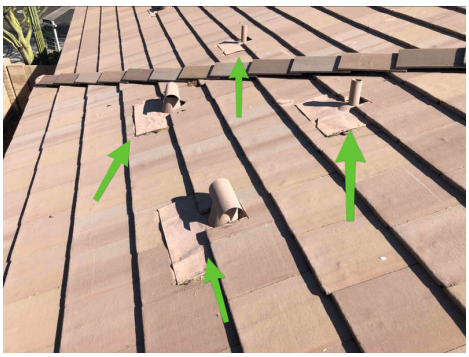
25) Roof Coverings: Type

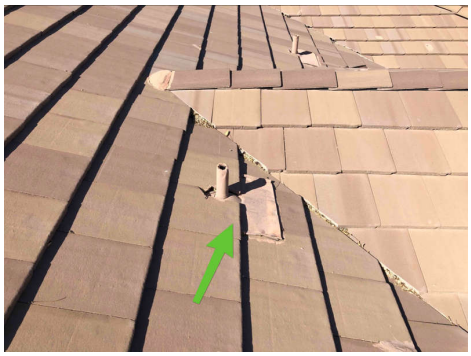
Concrete Tile

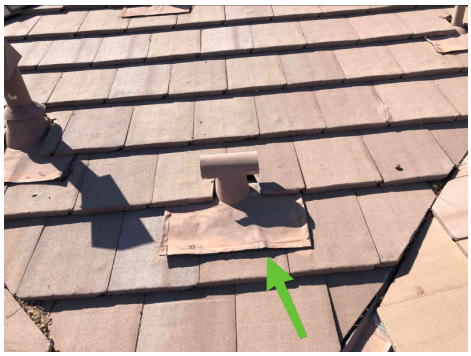


27) Flashings/ Penetrations, Skylights*, Chimneys*: Condition

Satisfactory Where Visible





Observations

5.1.1 25) Roof Coverings

Recommendation

CRACKED TILES - MULTIPLE

One or more cracked tiles were found on the roof. We recommend they be repaired or replaced by a licensed roofing contractor to prevent moisture and sun damage to roof structure.

Recommendation

Contact a qualified roofing professional.

5.2.1 26) Drainage Systems*

Recommendation

DEBRIS

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

Recommendation

Contact a qualified roofing professional.

6: PLUMBING

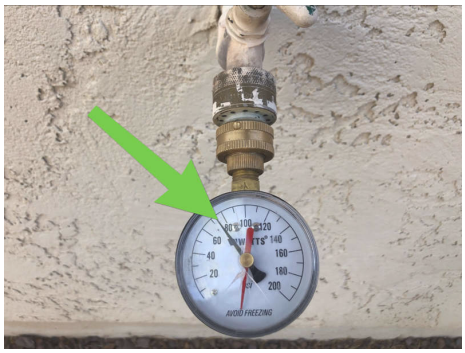
		IN	NI	NP	O
6.1	General Info (Plumbing)	X			
6.2	30) Interior Supply/ Distribution Piping	X			
6.3	31) Supports, Insulation	X			
6.4	32) Fixtures, Faucets	X			
6.5	33) Functional Flow	X			
6.6	34) Water Supply Leaks	X			
6.7	35) Cross Connections*	X			
6.8	36) Waste And Vent Piping System	X			
6.9	37) Drain Leaks	X			
6.10	38) Functional Drainage	X			
6.11	39) Water Heating Equipment And Controls	X			
6.12	40) Automatic Saftey Controls	X			
6.13	41) Flues And Vents	X			
6.14	42) Fuel Storage And Fuel Distribution System And Supports	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

General Info (Plumbing): Main Water Shut-Off Device (Location)
Exterior

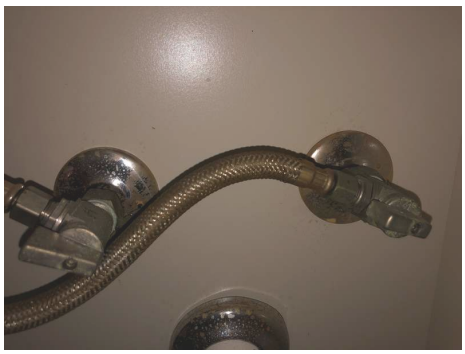
General Info (Plumbing): Water Pressure (Approximate)
75



General Info (Plumbing): Main Fuel Shut-Off (Location)
Exterior

30) Interior Supply/ Distribution Piping : Type
Copper, Unknown

30) Interior Supply/ Distribution Piping : Condition
Satisfactory Where Visible



30) Interior Supply/ Distribution Piping : Water Softener
Not Present

Plumbed but not installed

31) Supports, Insulation : Condition
Satisfactory Where Visible

32) Fixtures, Faucets : Faucets and Fixtures - Operation
Operational

32) Fixtures, Faucets : Faucets and Fixtures - Condition
Satisfactory with Exceptions Listed Below

32) Fixtures, Faucets : Toilet-Operation
Operational

34) Water Supply Leaks: Supply Leaks
No Supply Leaks Were Observed

35) Cross Connections*: Coss Connection/s Observed

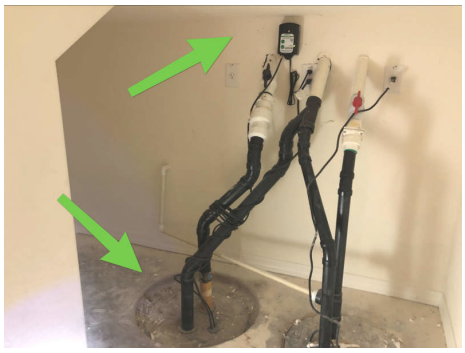
36) Waste And Vent Piping System: Waste and Vent - Condition
Satisfactory

36) Waste And Vent Piping System: Sump Pumps
Basement
Satisfactory

36) Waste And Vent Piping System: Sump Pump - Condition
Satisfactory

36) Waste And Vent Piping System: Sewage Ejector Pump/s
Basement
Satisfactory

36) Waste And Vent Piping System: Sewage Ejector Pump - Condition
Satisfactory



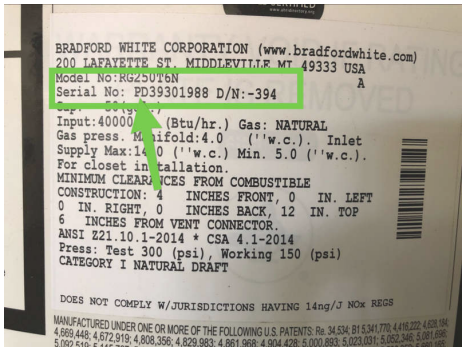
37) Drain Leaks: Evidence Of Leaking
No Evidence Of Leaking Observed

39) Water Heating Equipment And Controls : Power Source

Gas

39) Water Heating Equipment And Controls : Age of Unit/s - Approximate

2



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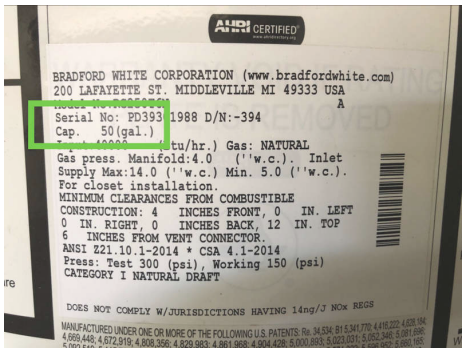
39) Water Heating Equipment And Controls : Capacity

50 Gallons



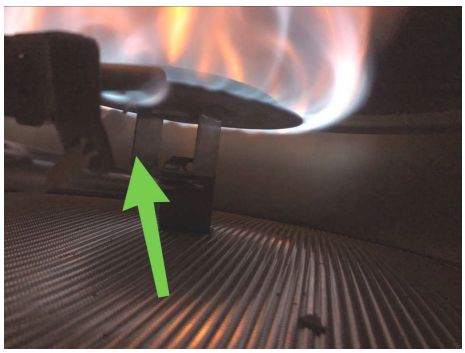
39) Water Heating Equipment And Controls : Location

Garage

39) Water Heating Equipment And Controls : Condition

Satisfactory Where Visible

40) Automatic Saftey Controls: Thermocouple Satisfactory



41) Flues And Vents: Flue Pipe - Condition

Satisfactory

41) Flues And Vents: Combustion Air Vents Present

41) Flues And Vents: Combustion Air Vent - Condition

Satisfactory

42) Fuel Storage And Fuel Distribution System And Supports: Condition

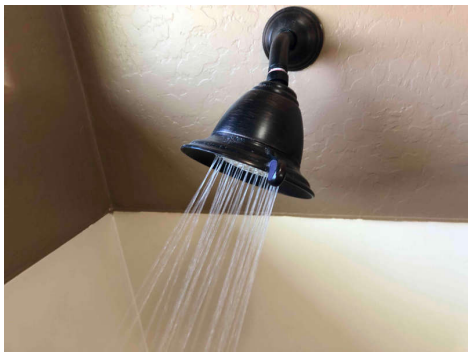
Satisfactory Where Visible

32) Fixtures, Faucets : Toilet/s - Condition

Satisfactory with exceptions listed below

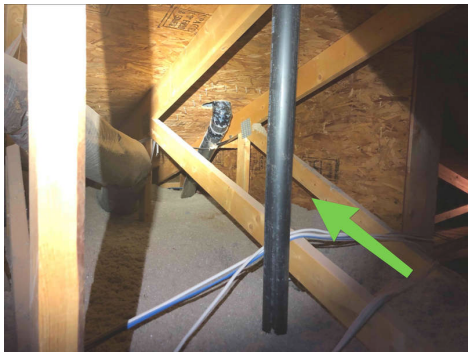
33) Functional Flow: **Functional Flow**

Functional Flow Observed at All Fixtures



36) Waste And Vent Piping System: **Waste and Vent - Type**

ABS



38) Functional Drainage: Drainage Condition

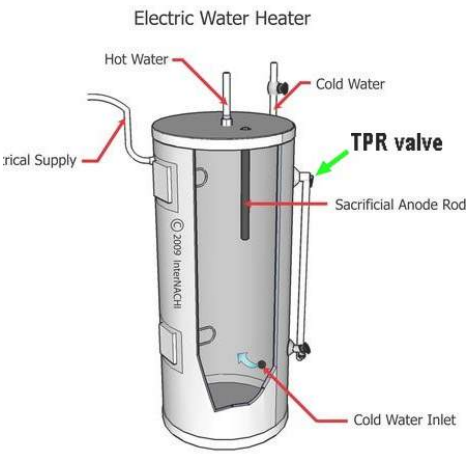
Drainage Was Functional with Exceptions Listed Below

Functional Drainage is determined by running the water/fixture, in a way that simulates normal usage of the drains. In most cases this includes fully cycling the toilet, or running water down the drain for a period of time to ensure the drains are functioning normally.

39) Water Heating Equipment And Controls : Manufacturer

Bradford & White

40) Automatic Saftey Controls: TPR Satisfactory



Example

41) Flues And Vents: Flue Pipe/s - Type
Single Wall, Double Wall

Observations

6.4.1 32) Fixtures, Faucets

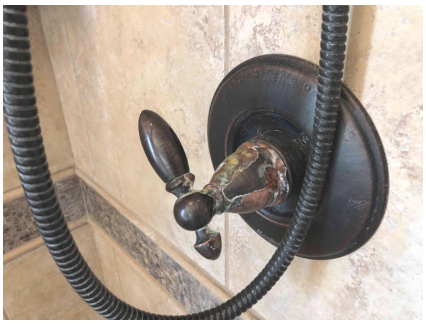
Recommendation

FIXTURES CORRODED

The fixtures in the residence are corroded and show signs of age. Although currently operational, they may be near the end of their life expectancy. Reccomend replacement or correction as desired by a licensed Plumber.

Recommendation

Contact a qualified plumbing contractor.



6.4.2 32) Fixtures, Faucets

Recommendation

FIXTURES LOOSE OR BROKEN

One or more of the fixtures in the residence is loose or broken. We recommend a licensed Plumber or Handyman repair or correct these issues.

Recommendation

Contact a qualified plumbing contractor.

6.4.3 32) Fixtures, Faucets

Recommendation

TOILET/S LOOSE

One or more toilets in the residence are loose or improperly secured. Reccomend further evaluation be made by licensed Handyman or Plumber

Recommendation

Contact a qualified plumbing contractor.

1st Floor Hall Bathroom

6.4.4 32) Fixtures, Faucets

Recommendation

SHOWER GROUT - DETERIORATED

One or more of the showers grout for the tile was deteriorated or in need of repair/correction. Recommend a full evaluation of all shower grout tile seems, and all work be done by licensed tile/bathroom contractor.

Recommendation

Contact a qualified general contractor.

6.4.5 32) Fixtures, Faucets

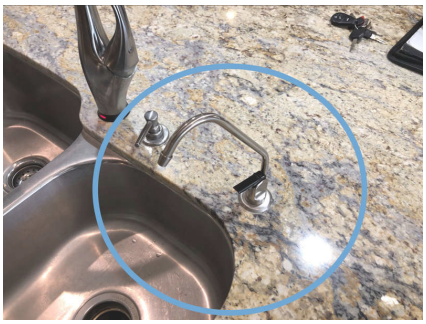
Noteworthy Item/ DIY

REVERSE OSMOSIS - SHUT OFF

There is a reverse osmosis water filter ration system in the residence. At the time of the inspection it was shut off, this could be because of a leak or not in service. Recommend contacting seller for more information, or having a licensed plumbing contractor repair/correct as needed.

Recommendation

Contact a qualified professional.



6.7.1 35) Cross Connections*

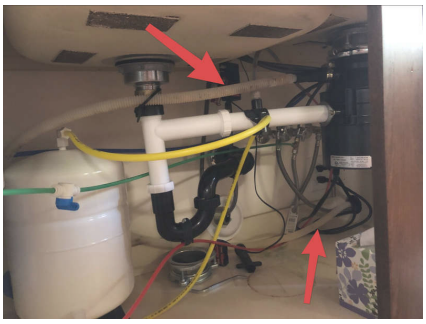
Safety Hazard

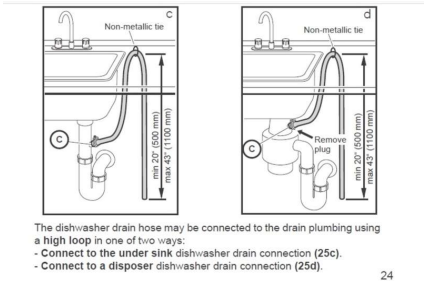
NO HIGH-LOOP ON DISHWASHER

There was no visible high-loop installed on the residences dish washer at the time of the inspection. We recommend a high-loop be installed by a qualified professional to ensure waste water does not enter back into the dishwasher.

Recommendation

Contact a handyman or DIY project





6.10.1 38) Functional Drainage

Recommendation

POOR/SLOW DRAINAGE

Poor/slow drainage was observed at one or more sinks or tubs at the time of the inspection. Recommend a qualified plumber evaluate and repair.

Recommendation

Contact a qualified plumbing contractor.

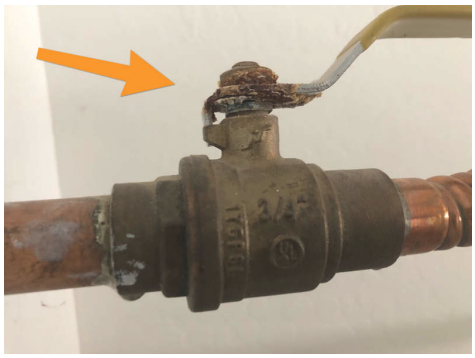
Basement Bathroom

6.11.1 39) Water Heating Equipment And Controls

Recommendation

CORROSION ON SHUTOFF VALVE

There appears to be corrosion on the shut off valve for the water heater. This usually indicates a past or present leak, however it appeared to not be leaking at the time of the inspection. Recommend repair or replacement by a licensed contractor.



Recommendation

Contact a qualified plumbing contractor.

7: ELECTRICAL

		IN	NI	NP	O
7.1	43) Service Type	X			
7.2	44) Service Conductor	X			
7.3	45) Service Ground	X			
7.4	46) Overcurrent protection devices	X			
7.5	47) Main and distribution panels	X			
7.6	48) Service amperage/voltage	X			
7.7	49) Branch circuit conductors	X			
7.8	51) Compatibility	X			
7.9	52) Lights, switches	X			
7.10	53) Receptacles, polarity, ground	X			
7.11	54) Ground fault interrupters	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

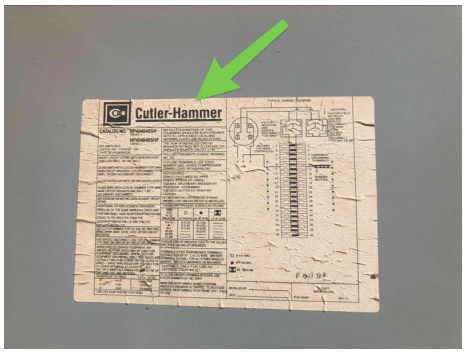
43) Service Type: Condition
Satisfactory Where Visible

44) Service Conductor : Condition
Satisfactory Where Visible

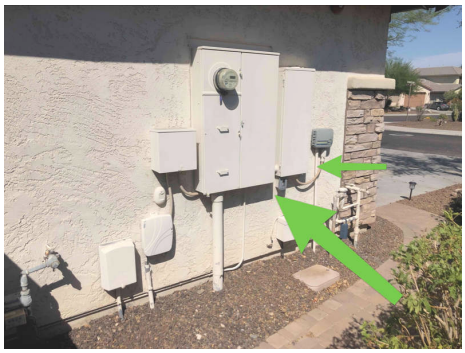
45) Service Ground: Ground Present

46) Overcurrent protection devices: Condition
Satisfactory Where Visible

47) Main and distribution panels: Panel Manufacturer
Cutler Hammer



47) Main and distribution panels: Panel Locations
Exterior



47) Main and distribution panels: Condition
Satisfactory Where Visible

48) Service amperage/voltage: Service Amperage Or Voltage Rating
200 AMP

49) Branch circuit conductors: Condition
Satisfactory

Not Present

51) Compatibility: Acceptable/ Consistent With The Age Of The Home

52) Lights, switches: Condition
Satisfactory with Exceptions Listed Below

52) Lights, switches: Operation
Observed Switches Are Operational

53) Receptacles, polarity, ground: Condition
Satisfactory Where Visible

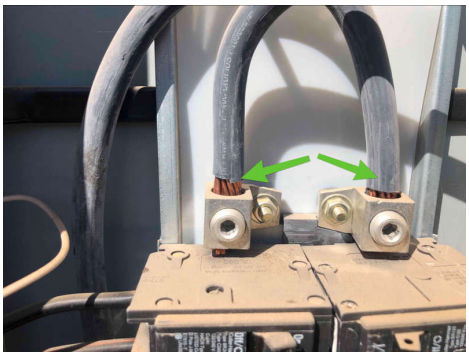
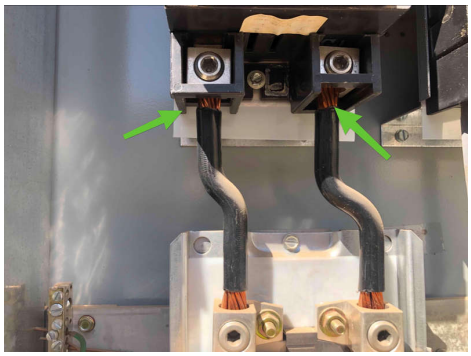
53) Receptacles, polarity, ground: Operation
A Representative Amount Of Outlets Operate Normally

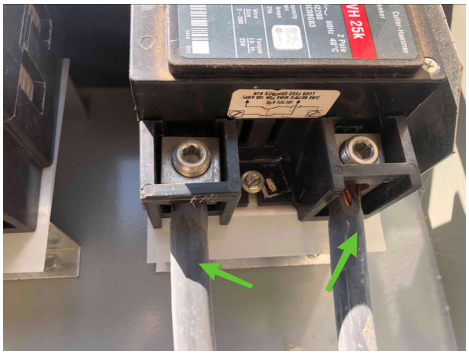
54) Ground fault interrupters : Condition
Satisfactory

43) Service Type: Type
Underground

44) Service Conductor : Type

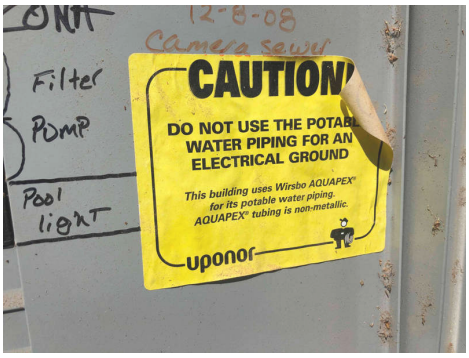
Copper

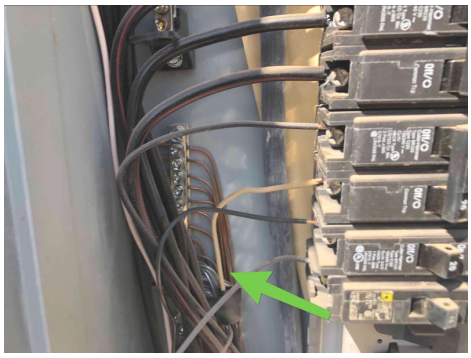
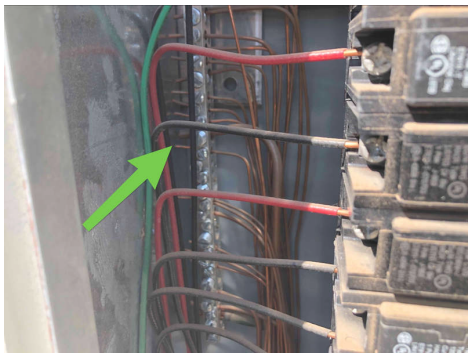





45) Service Ground: Condition

Not Visible (Non-Metallic Pipe)



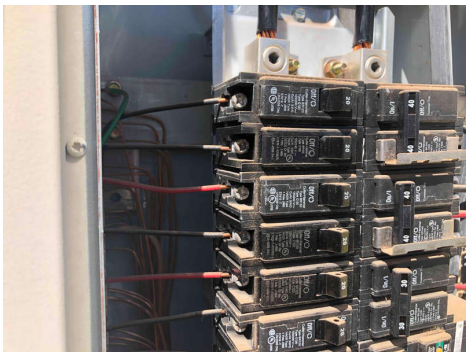
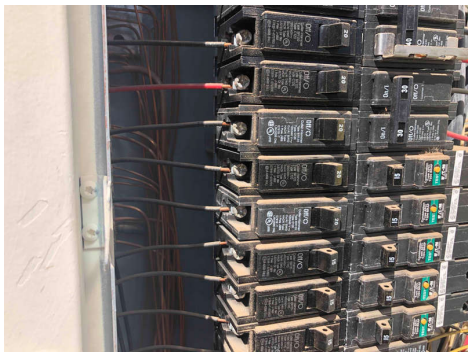
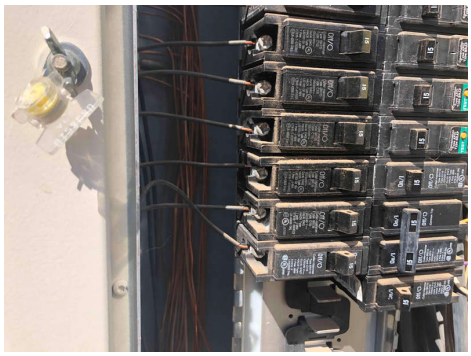



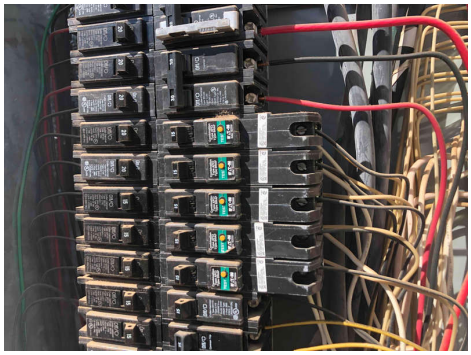
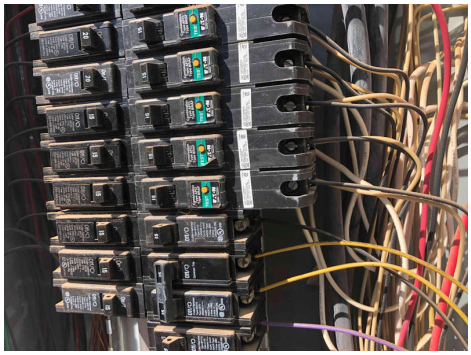
46) Overcurrent protection devices: Type

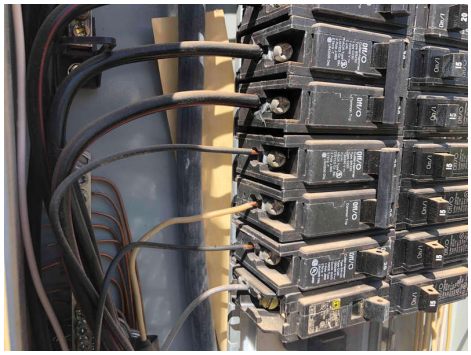
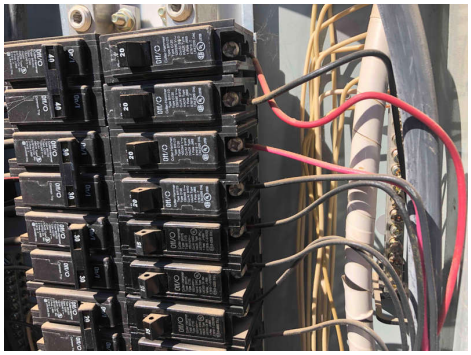
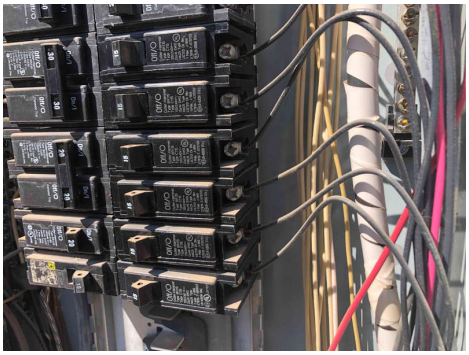
Circuit Breaker

49) Branch circuit conductors: Type

Copper

Observations

7.9.1 52) Lights, switches

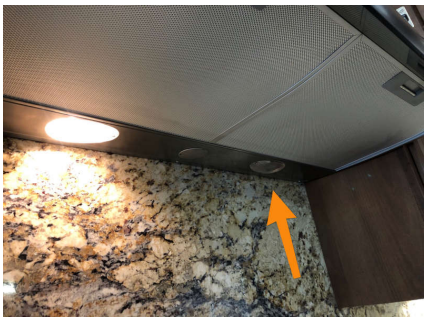
Recommendation

LIGHT INOPERABLE

One or more lights are not operating. New light bulb possibly needed.

Recommendation

Contact a qualified electrical contractor.



7.9.2 52) Lights, switches

Noteworthy Item/ DIY

CEILING FAN - UNBALANCED

At the time of the inspection one or more of the ceiling fans in the residence was unbalanced. Recommend correction/replacement by licensed electrician.

Recommendation

Contact a qualified electrical contractor.

Living Room

8: HEATING

		IN	NI	NP	O
8.1	55) Heating equipment	X			
8.2	56) Energy Source	X			
8.3	57) Operating Controls (thermostat)	X			
8.4	58) Automatic safety controls	X			
8.5	59) Chimneys, flues and vents	X			
8.6	60) Solid fuel heating devices	X		X	
8.7	61) Distribution system	X			
8.8	62) Air filters	X			
8.9	63) Heat source	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

55) Heating equipment : Brand
Lennox

55) Heating equipment : Heating Equipment - Condition
Satisfactory Inspection Limited

56) Energy Source: Energy Source
Natural Gas

57) Operating Controls (thermostat): Condition
Satisfactory (Operable)

58) Automatic safety controls: Auto-Saftey Control Condition
Satisfactory Where Visible

60) Solid fuel heating devices: Condition
Not Present

60) Solid fuel heating devices: Type
N/A Not Present

61) Distribution system: Ductwork Type
Flex Ductwork

61) Distribution system: Condition
Satisfactory Where Visible

62) Air filters: Condition
Satisfactory

63) Heat source: Heat Source In Every Room

55) Heating equipment : Heat Type

Gas-Fired Heat

59) Chimneys, flues and vents: Condition

Satisfactory Where Visible

9: COOLING

		IN	NI	NP	O
9.1	64) Cooling Equipment	X			
9.2	65) Energy Source	X			
9.3	66) Operating Controls	X			
9.4	67) Distribution System	X			
9.5	68) Air Filters	X			
9.6	69) Cooling Source	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

64) Cooling Equipment: Condition
Satisfactory Where Visible

65) Energy Source: Energy Source
Electric

67) Distribution System : Condition
Satisfactory With Exceptions Listed Below

68) Air Filters: Condition
Fair

69) Cooling Source: Cooling Source Present In Every Room

64) Cooling Equipment: Brand

Lennox

64) Cooling Equipment: Type

Air Conditioner

Unit 1

Unit 1

Unit 2

Unit 2

Unit 3

64) Cooling Equipment: Age Of Unit/s (Approximate)

11

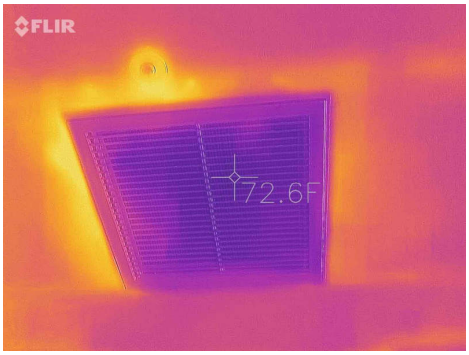
08-year, H-month (august)

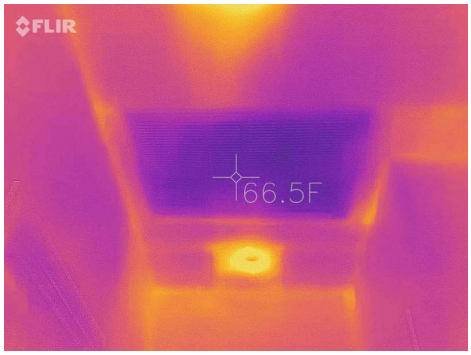
08-year, H-Month (august)

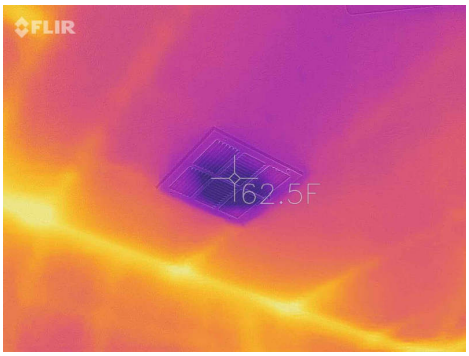
08-year, H-Month (august)

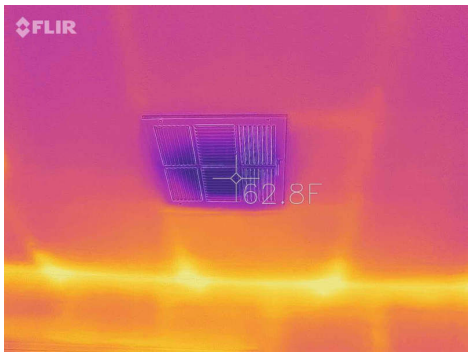
64) Cooling Equipment: Approximate Temperature Differentials

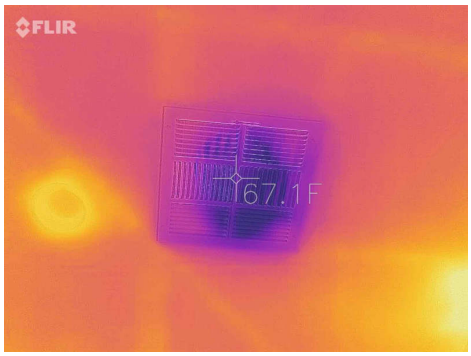
72 - 62 Degrees

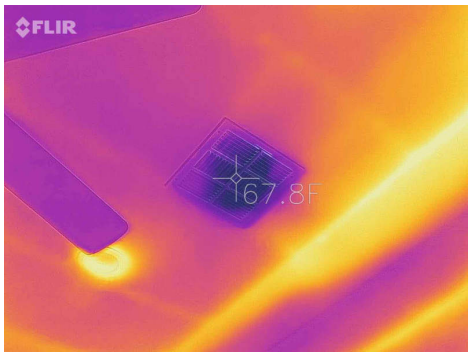


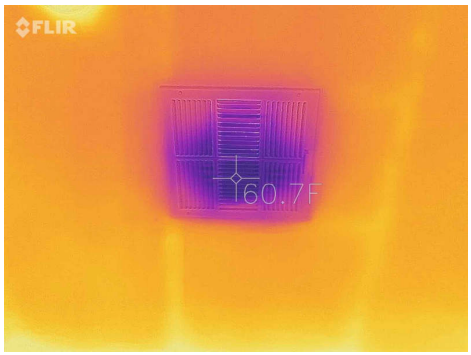


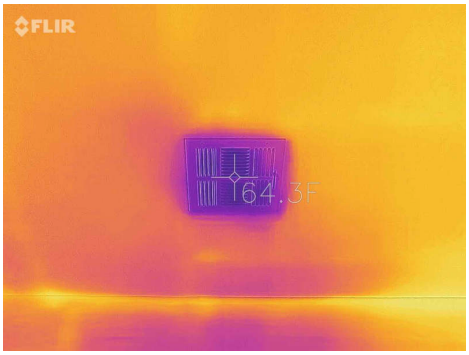


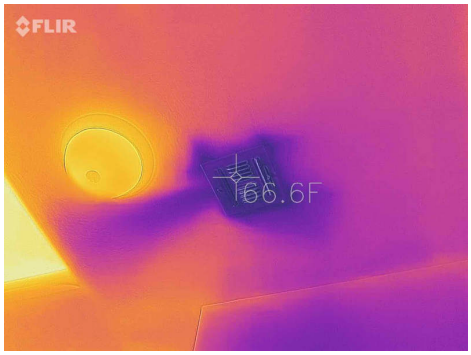


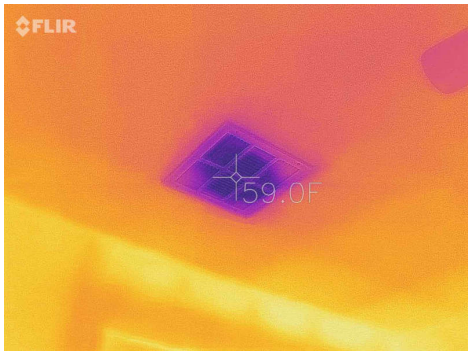


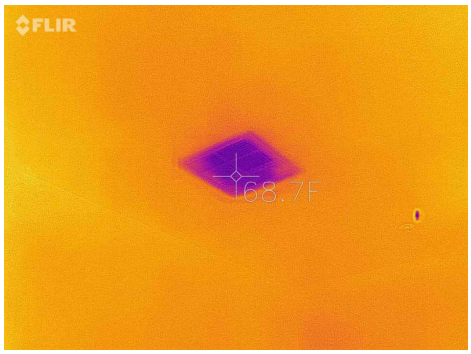


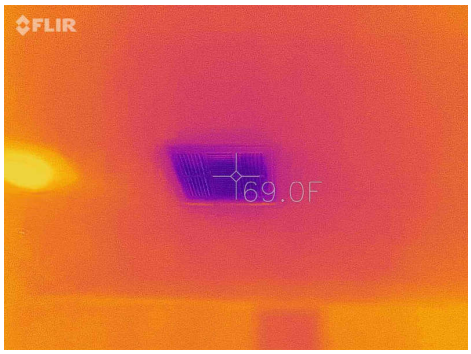


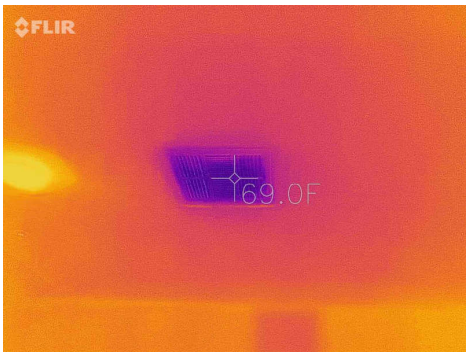












66) Operating Controls: Condition

Satisfactory(Operable)

Unit 1

Unit 2

Unit 3

67) Distribution System : Ductwork - Type

Flex Ductwork

Observations

9.1.1 64) Cooling Equipment

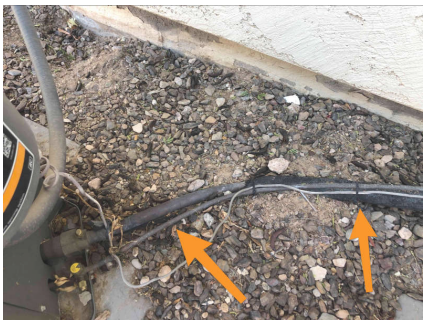
Recommendation

INSULATION DAMAGED/MISSING

The insulation on the refrigerant lines for the AC unit is damaged/missing. Recommend correction be made by licensed professional.

Recommendation

Contact a qualified professional.



9.1.2 64) Cooling Equipment

R-22 REFRIGERANT

Noteworthy Item/ DIY

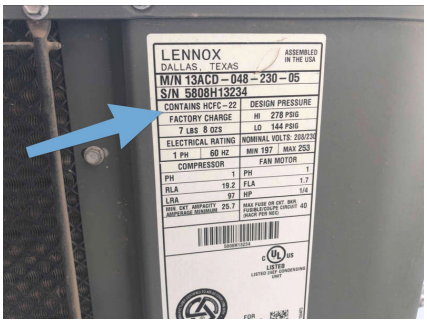
One or more of the A/C units in for the residence operates with R-22 refrigerant. This type of refrigerant is has become obsolete and costly to replace. At this time we recommend further evaluation of the unit/s and information be provided by a licensed HVAC Contractor.

Recommendation

Contact a qualified HVAC professional.

Unit 1

Unit 2



Unit 3

9.1.3 64) Cooling Equipment

SERVICE A/C

Noteworthy Item/ DIY

Because of the age and condition of the AC unit/s in the residence, we recommend all AC units be serviced annually to maintain efficiency and longevity of the unit/s.

Recommendation

Contact a qualified HVAC professional.

9.4.1 67) Distribution System

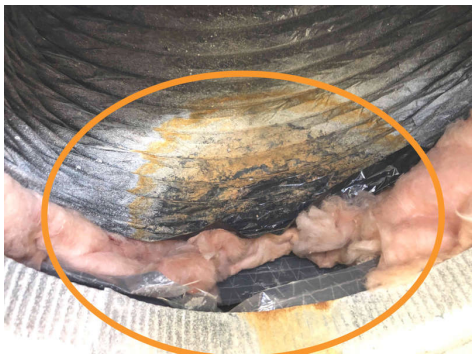
DUCTWORK - DAMAGED

Recommendation

At the time of the inspection there were sections of the AC ductwork that was damaged/in need of repair. All repairs should be made by licensed HVAC Contractor.

Recommendation

Contact a qualified HVAC professional.



Under air handler in Basement

9.5.1 68) Air Filters

Noteworthy Item/ DIY

FILTER DIRTY

At the time of the inspection one or more of the air filters for the HVAC or dirty or in need of replacement. These should be replaced monthly, or to whatever the manufacturer specifications require to ensure efficiently and longevity of the HVAC Units/s.

Recommendation

Recommended DIY Project

Back bedroom 1st Floor

10: INTERIORS

		IN	NI	NP	O
10.1	70) Walls, Ceilings, Floors	X			
10.2	71) Steps, Stairways	X			
10.3	72) Balconies, Railings	X		X	
10.4	73) Counters, Cabinetry	X			
10.5	74) Doors	X			
10.6	75) Windows	X			
10.7	76) Fire Seperation Walls and Ceilings	X			
10.8	77) Fire Seperation Doors	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

70) Walls, Ceilings, Floors: Ceilings - Condition
Satisfactory

70) Walls, Ceilings, Floors: Floors - Condition
Satisfactory

70) Walls, Ceilings, Floors: Walls - Condition
Satisfactory

71) Steps, Stairways: Steps - Condition
Satisfactory

71) Steps, Stairways: Stairways - Condition
Satisfactory

72) Balconies, Railings : Balconies - Condition
Not Present

72) Balconies, Railings : Railings - Condition
Satisfactory

73) Counters, Cabinetry: Cabinetry - Condition
Satisfactory

73) Counters, Cabinetry: Counters - Condition
Satisfactory

74) Doors : Condition
Satisfactory

74) Doors : Operation
Operate Normally

75) Windows : Condition
Satisfactory with Exceptions Listed Below

75) Windows : Operation
Operate (Minor Issues Listed Below)

76) Fire Seperation Walls and Ceilings : Ceiling Condition
Satisfactory

77) Fire Seperation Doors : Condition
Satisfactory

77) Fire Seperation Doors : Operation
Operating Normally

76) Fire Seperation Walls and Ceilings : Walls - Condition
Satisfactory Where Visible

Observations

10.1.1 70) Walls, Ceilings, Floors

Noteworthy Item/ DIY

MOISTURE DAMAGE - WALL/S

At the time of the inspection, there was one or more section of interior walls that had water damage. Recommend identifying source of moisture, and all repairs/correction be made by licensed contractor.

Recommendation

Contact a qualified general contractor.

10.1.2 70) Walls, Ceilings, Floors

Noteworthy Item/ DIY

INTERIOR - GENERAL DAMAGE

The interior walls/ceilings had general damage consistent with the age of the home that can be considered cosmetic. Recommended corrections be made as desired by a general contractor.

Recommendation

Contact a qualified general contractor.

10.4.1 73) Counters, Cabinetry

Noteworthy Item/ DIY

CABINETS & COUNTERTOPS - GENERAL WEAR

At the time of the inspection one or more of the cabinets and countertops exhibited general wear consistent with the age of the home.

- If corrected/repaired, we recommend all repairs and corrections be done by a licensed cabinet contractor.

Recommendation

Contact a qualified cabinet contractor.

10.6.1 75) Windows

Recommendation

WINDOW/S - DOES NOT LATCH/LOCK

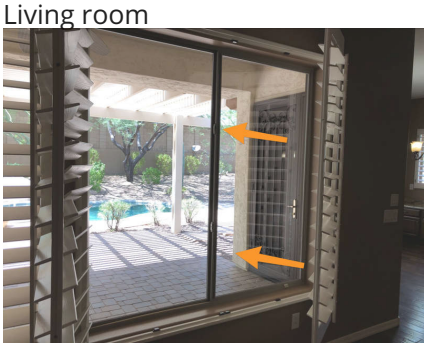
One or more of the windows in the residence is difficult to latch or does not lock. Recommend a full evaluation of all windows be made by licensed Window Contractor, and corrections be made as needed.

Recommendation

Contact a qualified window repair/installation contractor.

Office

Living room



Master Bedroom

Dining Room

11: INSULATION, VENTILATION

		IN	NI	NP	O
11.1	78) Insulation	X			
11.2	79) Vapor Retarder	X			
11.3	80) Attic Ventilation	X			
11.4	81) Under Floor Crawl Space Ventilation	X		X	
11.5	82) Kitchen Ventilation	X			
11.6	83) Bathroom Ventilation	X			
11.7	84) Laundry Ventilation	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

78) Insulation : Type
Blown, Cellulose

78) Insulation : Condition
Satisfactory

79) Vapor Retarder : Type
Unknown

79) Vapor Retarder : Condition
Not Accessible

80) Attic Ventilation: Condition
Satisfactory

81) Under Floor Crawl Space Ventilation : Condition
Not Present

82) Kitchen Ventilation: Ventilation Type
Vented

82) Kitchen Ventilation: Condition
Satisfactory

83) Bathroom Ventilation: Condition
Satisfactory Where Visible

84) Laundry Ventilation: Ventilation Type
Present (Fan)

84) Laundry Ventilation: Condition
Satisfactory Where Visible

78) Insulation : R-value (Approximate)

30

80) Attic Ventilation: Ventilation Type

Soffit Vents, Ridge Vents

83) Bathroom Ventilation: Ventilation Type

Present (Fan)

STANDARDS OF PRACTICE

Built-in Appliances

10.1 The inspector shall inspect: F. installed ovens, ranges, surface cooking appliances, microwave ovens, dishwashing machines, and food waste grinders by using normal operating controls to activate the primary function. 10.2 The inspector is NOT required to inspect: G. installed and free-standing kitchen and laundry appliances not listed in Section 10.1.F. H. appliance thermostats including their calibration, adequacy of heating elements, self cleaning oven cycles, indicator lights, door seals, timers, clocks, timed features, and other specialized features of the appliance. I. operate, or con rm the operation of every control and feature of an inspected appliance.