



RW WEST HOME INSPECTION REPORT

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APRIL 29, 2021



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SUMMARY

- 🔧 3.1.1 Exterior Areas - Siding Condition: CAULKING VOIDS AT PIPING OR WIRING
- 🔧 3.2.1 Exterior Areas - Driveway, Patio and Walkway Condition: Cracking Not Unusual
- ⚠️ 3.7.1 Exterior Areas - Electrical: NO GFCI 1973 Required
- ⚠️ 3.7.2 Exterior Areas - Electrical: Loose outlet
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- ⚠️ 4.1.1 Deck 1 - Deck: Beams Nailed to Posts
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- ⚠️ 4.1.5 Deck 1 - Deck: NO BLOCKING AT JOISTS
- ⚠️ 5.1.1 Deck 2 - Deck: GUARDRAIL SPACING
- ⚠️ 5.1.2 Deck 2 - Deck: NO HANDRAIL
- ⚠️ 5.1.3 Deck 2 - Deck: HANDRAIL NOT GRASPABLE
- 🔧 5.1.4 Deck 2 - Deck: DIRT CONTACT POSTS
- ⚠️ 5.1.5 Deck 2 - Deck: NO BLOCKING AT JOISTS
- ⚠️ 5.1.6 Deck 2 - Deck: Ledger Bolts Aligned
- ⚠️ 5.1.7 Deck 2 - Deck: Treated posts buried in soil
- ⚠️ 6.1.1 Roof - Roof Type: DAMAGED
- ⚠️ 6.2.1 Roof - Flashing: CORROSION
- ⚠️ 6.4.1 Roof - Chimney: MOSS
- ⚠️ 6.4.2 Roof - Chimney: DETERIORATION
- ⚠️ 6.4.3 Roof - Chimney: Corrosion to metal chimney crown
- ⚠️ 6.6.1 Roof - Vent Caps: Drain vent too short
- ⚠️ 7.2.1 Attic 1 - Framing: Mold/Slight Fungal Like Growth
- ⚠️ 7.4.1 Attic 1 - Electrical: COVERPLATES
- ⚠️ 7.5.1 Attic 1 - Fan/Duct: BATH FANS NOT EXHAUSTING OUT
- ⚠️ 7.8.1 Attic 1 - Rodents/Pests: Rodent Activity
- ⚠️ 7.8.2 Attic 1 - Rodents/Pests: Burrowing
- ⚠️ 8.4.1 Garage - Electrical: JBox Covers
- 🔧 8.5.1 Garage - Floor : Cracking Not Unusual
- ⚠️ 9.1.1 General Interior Note - General Notes: GFCI REQUIREMENT DATES
- 🔧 11.4.1 West Bathroom - Sinks: Stopper/Seal/function
- 🔧 11.6.1 West Bathroom - Toilet: Caulking
- ⚠️ 11.9.1 West Bathroom - Tub: Spigot Leak
- 🔧 12.5.1 Bedroom 1 - Doors : Guides
- ⚠️ 12.6.1 Bedroom 1 - Window Deficiencies : FAILED SEAL

- 🔧 13.5.1 Bedroom 2 - Doors : Guides
- 🔧 14.6.1 1/2 Bathroom - Toilet: Caulking Around Base
- 🔧 15.5.1 Living Room - Fireplace : Dirty Glass
- ⚠️ 15.6.1 Living Room - Window Deficiencies : FAILED SEAL
- 🔧 16.1.1 Den - Room: Cracking not Unusual
- ⚠️ 17.7.1 Dining Room - Fireplace : Level 2 Inspection
- ⚠️ 18.4.1 Kitchen - Electrical: NO GFCI (Required Since 1978)
- ⚠️ 19.6.1 Master Bedroom - Window Deficiencies : FAILED SEAL
- ⚠️ 19.6.2 Master Bedroom - Window Deficiencies : NOT TEMPERED WITHIN 18"
- 🔧 20.6.1 Master Bathroom - Toilet: Caulking
- ⚠️ 22.2.1 Laundry - Electrical: No GFCI Protection
- ⚠️ 23.2.1 Foundation/Crawlspaces 1 - Framing: POST/BEAMS NOT STRAPPED
- 🔧 23.6.1 Foundation/Crawlspaces 1 - Vapor Barrier: CLEAR PLASTIC
- ⚠️ 23.9.1 Foundation/Crawlspaces 1 - Rodents/Pests: Rodent Activity
- ⚠️ 23.9.2 Foundation/Crawlspaces 1 - Rodents/Pests: Droppings
- ⚠️ 23.9.3 Foundation/Crawlspaces 1 - Rodents/Pests: Urine Staining
- ⚠️ 23.9.4 Foundation/Crawlspaces 1 - Rodents/Pests: Burrowing
- ⚠️ 23.10.1 Foundation/Crawlspaces 1 - Insulation Condition: DAMAGED/MISSING
- ⚠️ 24.6.1 Heat/AC1 - Heating condition: Electric Furnace No Service
- 🔧 24.7.1 Heat/AC1 - Filters: Dirty
- ⚠️ 25.8.1 Plumbing/Water Heater - TPRV Condition: 6 Inches above
- ⚠️ 26.1.1 Main Service Electrical 1 - Electrical Panel: Dissimilar size wires under main lug
- ⚠️ 26.1.2 Main Service Electrical 1 - Electrical Panel: RESTRAINTS MISSING
- ⚠️ 27.1.1 Main Service Electrical 2 - Electrical Panel: No main disconnect
- ⚠️ 27.3.1 Main Service Electrical 2 - Wiring Type: INCORRECT SIZE
- ⚠️ 29.1.1 Carbon Monoxide Detectors - Carbon Monoxide: Carbon monoxide detectors not visible on all levels
- ⚠️ 29.1.2 Carbon Monoxide Detectors - Carbon Monoxide: As of April 1st 2012 it is required that Carbon monoxide detectors are installed on each level and outside of bedroom areas

1: INSPECTION DETAILS

Information

Attendance Owner/Client present, Selling Agent present, No other parties present at inspection.	Home Type Single Family Home, Rambler 1 Story, Attached	Occupancy Occupied - Furnished, Access to some items such as: electrical outlets/receptacles; windows; wall/floor surfaces; and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.
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2: EXTERIOR ELEVATIONS

Information

Elevations: North



Elevations: South



Elevations: East



Elevations: West



3: EXTERIOR AREAS

Information

Siding Condition: Siding Type
[[GOOD]]Siding appeared in good condition overall., Wood, Stone Cultured



Gutters: Gutters Condition
Gutters appeared in good condition overall

Exterior Faucet Condition:
Exterior faucets operate overall

Water Pressure: Water Pressure
55



Cable Feeds: Cable Feeds
[[UNDERGROUND]]Primary Service is Underground Service Lateral

Electrical: GFCI outlets
Partial



North

Soffit: Soffits

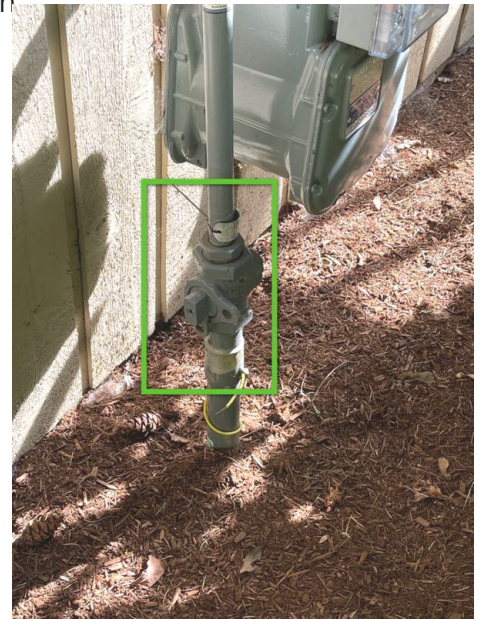
Soffits appeared in good condition overall

**Gas Condition: Gas Meter/Service Location**

Shutoff for gas meter located to the lower left of the meter, South Side

**Gas Condition: Main gas shut off**

Main gas shut off is located to the left of the gas meter



Gas shutoff

Grading: Proper Grading

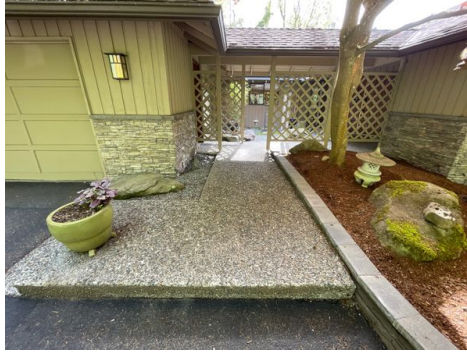
First 6 feet should slope away from home when possible.

Gate Condition: Not Part of Inspection

Fences/Gates are not within the scope of this inspection.



Driveway. Patio and Walkway Condition: Driveway/Walkways/Patio
Asphalt, Concrete, Gravel

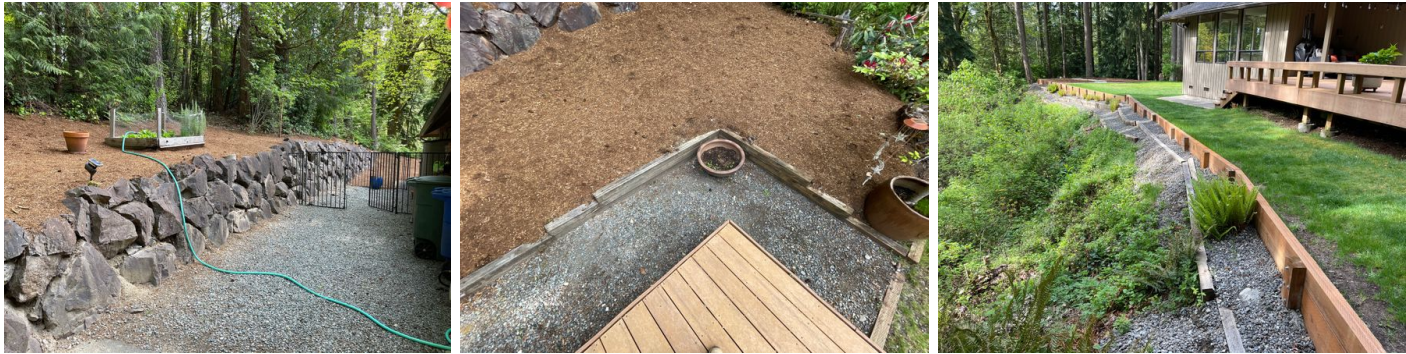


Electrical: Hot tub disconnect present



Retaining Wall: Retaining Wall Material

Rockery, Treated Lumber



Observations

3.1.1 Siding Condition

CAULKING VOIDS AT PIPING OR WIRING

Voids/missing caulking where piping/wiring routes through the siding, recommend sealing

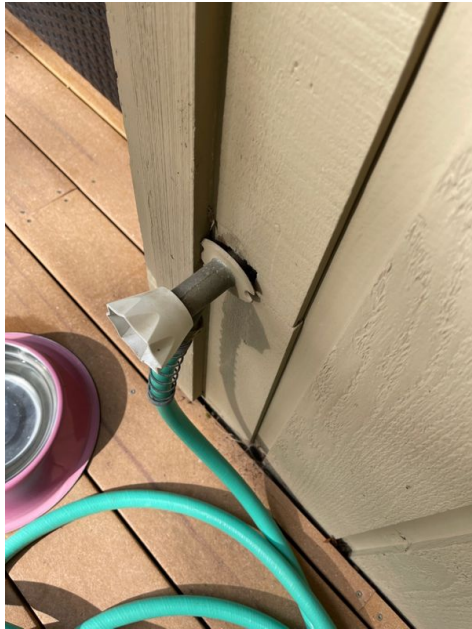
Recommendation

Contact a handyman or DIY project

Maintenance Item



North



East

3.2.1 Driveway, Patio and Walkway Condition

CRACKING NOT UNUSUAL

Cracking at the driveway/sidewalk does not appear unusual.

 Maintenance Item



3.7.1 Electrical

NO GFCI 1973 REQUIRED

 Improvements/Safety Concern

GFCI outlets have been required at exterior (since 1973) No GFCI protection present, strongly recommend GFCI outlets are installed as a safety precaution.

Recommendation

Contact a qualified electrical contractor.



3.7.2 Electrical

LOOSE OUTLET

Outlet loose, recommend securing

Recommendation

Contact a qualified professional.



Improvements/Safety Concern



3.8.1 Soffit

TREE CONTACT

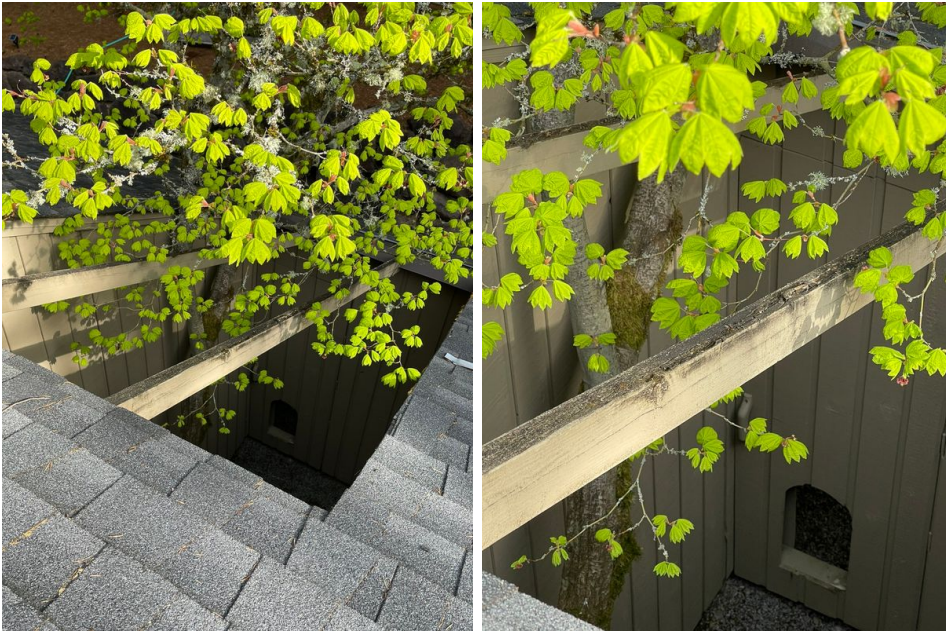
trees in contact with soffit, recommend clearance be achieved to prevent damage

Recommendation

Contact a qualified professional.



Maintenance Item



3.10.1 Gas Condition

CORROSION GAS PIPING

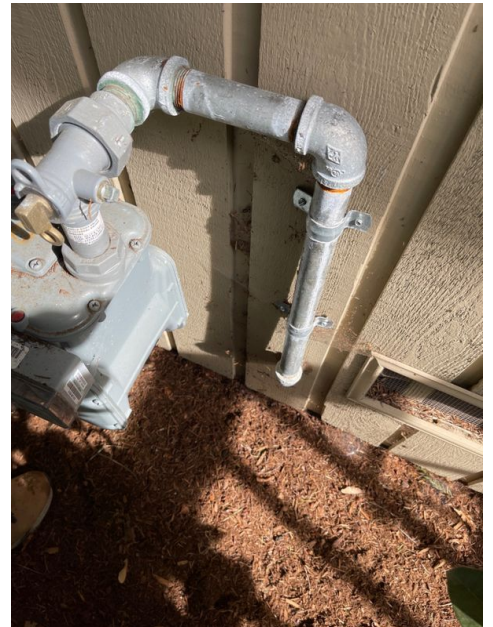
Corrosion to gas piping, recommend painting with a rust retarding paint as continued corrosion can result in gas leaks

Recommendation

Contact a handyman or DIY project



Maintenance Item



3.11.1 Grading

FOLIAGE

Foliage is touching the siding, recommend clearance is achieved as this is a conducive condition for wood destroying organisms and pests

Recommendation

Contact a handyman or DIY project



Maintenance Item



4: DECK 1

Information

Deck: Decks
GFCI outlet, Trex/Composite Decking



Limitations

Deck
FRAMING NOT VISIBLE UNDERSIDE COVERED
Underside covered Framing not visible to inspect



Observations

4.1.1 Deck Further Evaluation

BEAMS NAILED TO POSTS

Beams nailed to posts. Typically bolts should be used for this application to prevent splitting

Recommendation
Contact a qualified professional.



4.1.2 Deck

NO GUARDRAIL 30 INCHES

Guardrail not present, normally there should be a guardrail when deck is 30 inches or more off the ground. Recommend installing guardrail

Recommendation

Contact a qualified professional.



Improvements/Safety Concern



4.1.3 Deck

NO HANDRAIL

Handrail not present, normally there should be a handrail when there are 4 or more stairs as a safety precaution.

Recommendation

Contact a qualified professional.



Improvements/Safety Concern



4.1.4 Deck

POST/BEAM NOT STRAPPED



Improvements/Safety Concern

Deck post and beam connections are not gusseted or strapped, recommend conditions are corrected as a safety precaution

Recommendation

Contact a qualified professional.



4.1.5 Deck

NO BLOCKING AT JOISTS



Improvements/Safety Concern

No blocking between joists where they rest on beam, recommend conditions are corrected to prevent lateral movement

Recommendation

Contact a qualified deck contractor.



5: DECK 2

Information

Deck: Decks

GFCI outlet, Trex/Composite Decking, [[GUARDRAIL]]Guardrail appeared secure., [[STAIRS OK]]Deck stairs appeared uniform; handrail secure.



Observations

5.1.1 Deck

GUARDRAIL SPACING

Guardrail balusters/spindles are spaced further than the maximum 4 inches, this requirement is to prevent small children from fitting through guardrail.

Recommendation

Contact a qualified professional.



Improvements/Safety Concern

5.1.2 Deck

NO HANDRAIL

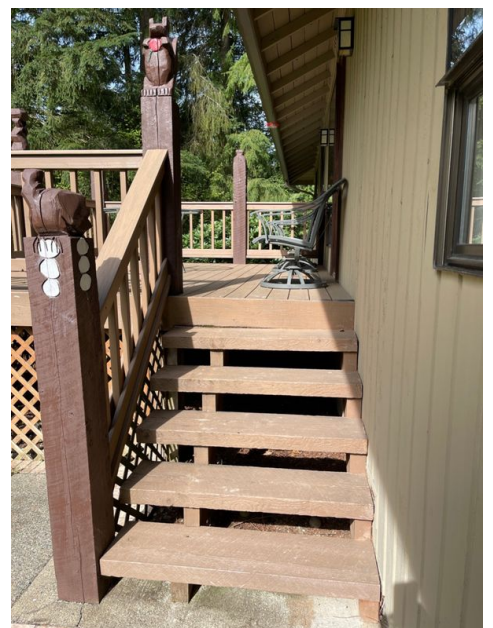
Handrail not present, normally there should be a handrail when there are 4 or more stairs as a safety precaution.

Recommendation

Contact a qualified professional.



Improvements/Safety Concern



5.1.3 Deck

HANDRAIL NOT GRASPABLE

Handrail not graspable. By today's standards, rails should be configured so that a hand may grasp around a rail for safety.

Recommendation

Contact a qualified professional.

**Improvements/Safety Concern**

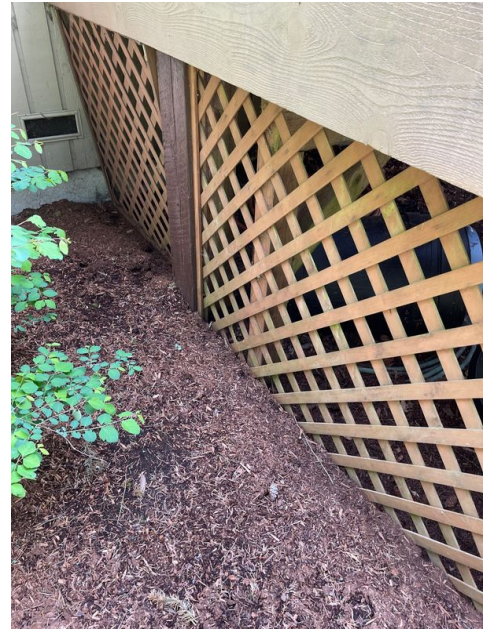
5.1.4 Deck

DIRT CONTACT POSTS

Earth to wood contact at the base of some of the support post recommend of wood contact is alleviated as it will cause decay to occur

Recommendation

Recommended DIY Project

**Maintenance Item**

5.1.5 Deck

NO BLOCKING AT JOISTS

No blocking between joists where they rest on beam, recommend conditions are corrected to prevent lateral movement

Recommendation

Contact a qualified deck contractor.

**Improvements/Safety Concern**

5.1.6 Deck

LEDGER BOLTS ALIGNED

Normally ledger bolts should be staggered. When installed in a straight line condition can cause ledger to split creating a hazardous condition

Recommendation

Contact a qualified deck contractor.

**Improvements/Safety Concern**



5.1.7 Deck

TREATED POSTS BURIED IN SOIL

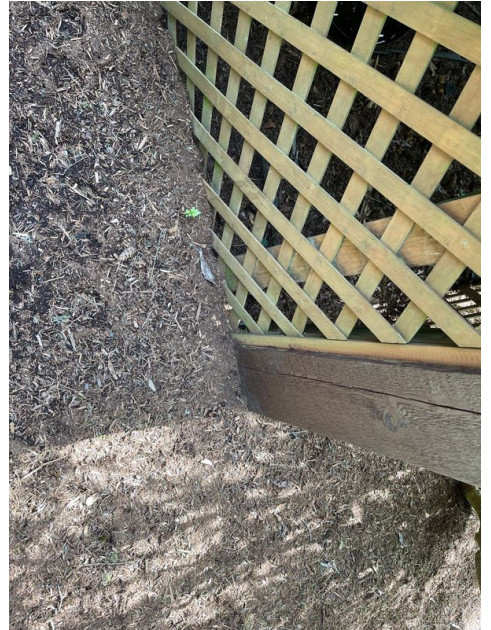


Further Evaluation

Cannot verify if cut ends were retreated, if not decay can result.
Recommend alleviating soil contact

Recommendation

Contact a qualified professional.



6: ROOF

Information

Roof Type: How Inspected
Walked on surface



Vent Caps: Vent caps/B Vents



Roof Type: Roof Type

Roofing average lifespans are dependent on proper maintenance and care., 30 Year Architectural Shingle, Surface appeared in good condition overall

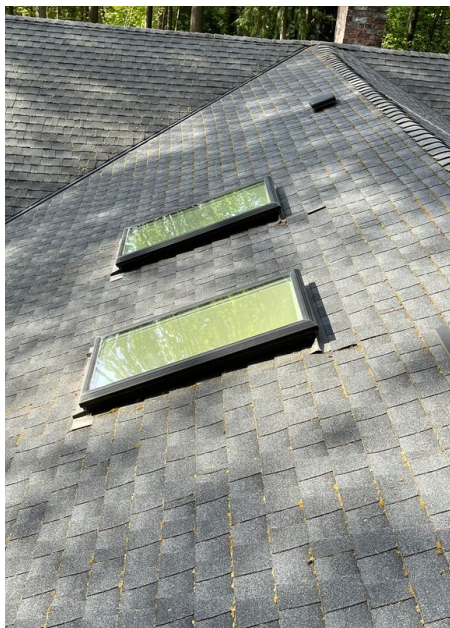


Flashing: Flashing appeared in good condition.



Skylights: Skylights

Skylights appeared in good condition overall.



Chimney: Chimneys

[[BRICK]]Brick masonry chimney appeared in good condition overall; chimney height was adequate overall., Gas B vent appeared in good condition overall; B vent height was adequate overall.



Observations

6.1.1 Roof Type

DAMAGED

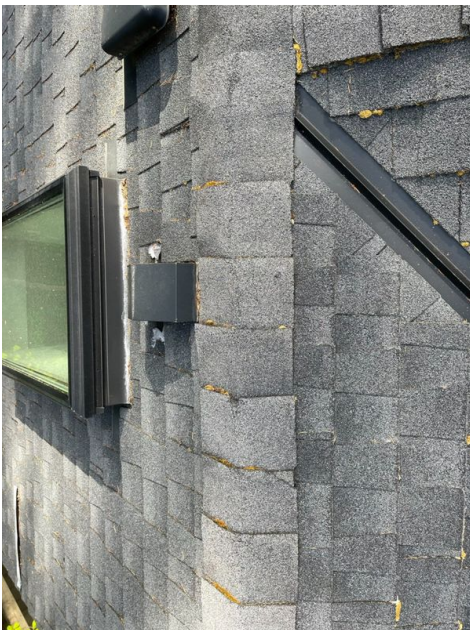
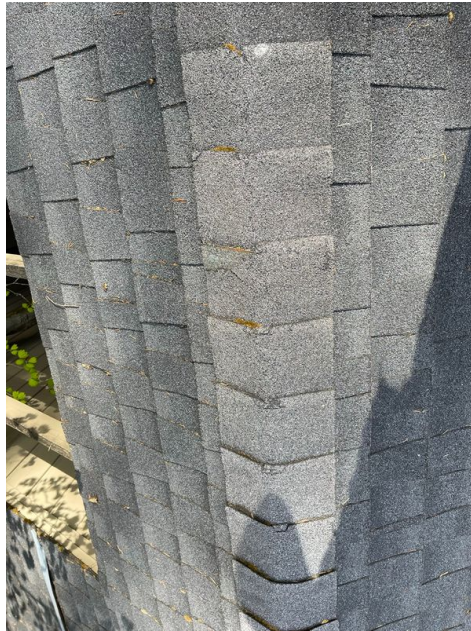
Some shingles damaged, recommend extent of damage is investigated further and repaired as needed.

Recommendation

Contact a qualified roofing professional.



Improvements/Safety Concern



6.2.1 Flashing

CORROSION

Corrosion occurring to flashings, recommend conditions are corrected/repared

Recommendation

Contact a qualified professional.



Further Evaluation



6.4.1 Chimney

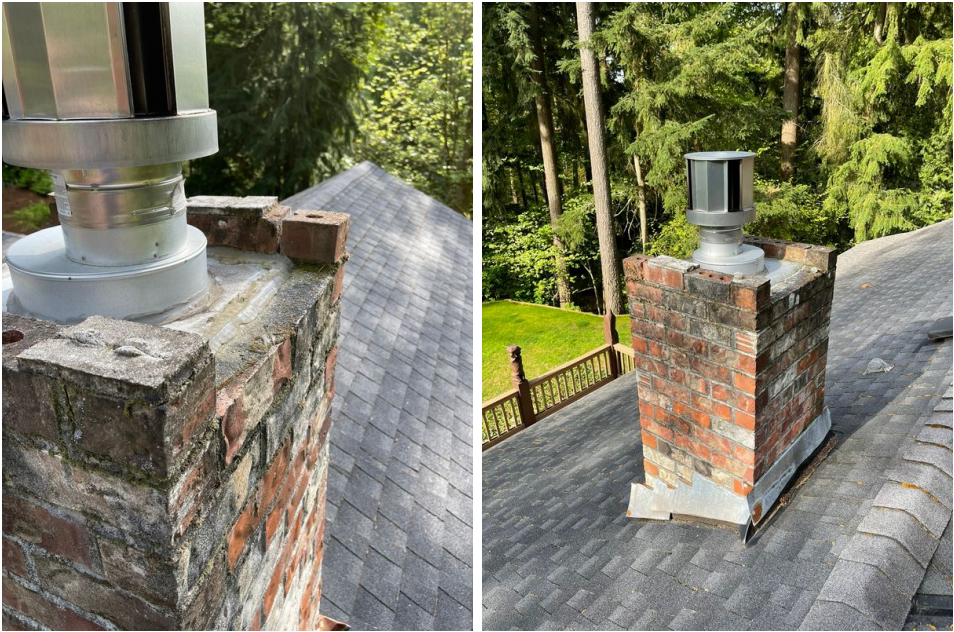
MOSS

Moss on chimney recommend alleviating to prevent spalling



Further Evaluation

Recommendation
Contact a qualified professional.



6.4.2 Chimney
DETERIORATION

Brick and mortar deterioration observed; recommend conditions are repaired by licensed chimney sweep or masonry contractor.

Recommendation
Contact a qualified masonry professional.

 Further Evaluation



6.4.3 Chimney
CORROSION TO METAL CHIMNEY CROWN

 Further Evaluation

Recommend painting with a rust retardant and or repair as needed

Recommendation

Contact a qualified professional.



6.6.1 Vent Caps

DRAIN VENT TOO SHORT

Drain vent should be at least 6" high above surface of the roof.

Recommendation

Contact a qualified professional.



Further Evaluation



7: ATTIC 1

Information

Attic: Attic Access Location Garage



Fan/Duct: Bath fans exhaust to the exterior overall

Bath fans exhaust to the exterior
overall

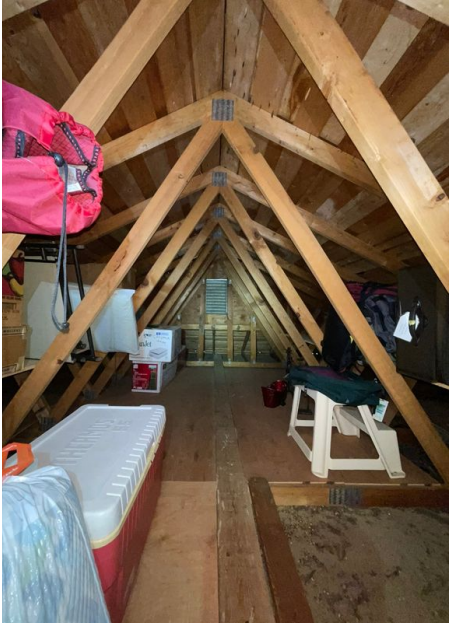


Insulation Condition: Insulation Depth

[[8 EIGHT INCHES]]Insulation
averages about 8 inches in depth
over the living area estimated R
value 19 to 25. Newer
requirements are R49 insulation
content.

Framing: Framing

Visible framing appeared in good condition overall



Insulation Condition: Insulation Type
Cellulose



Ventilation: Attic Ventilation

Ventilation appeared adequate overall., [[SURFACE Vents]]Roof surface vents present., [[RIDGE Vent]]Continuous Ridge Vent present., [[GABLE]]Gable louver vents noted.



Observations

7.2.1 Framing

MOLD/SLIGHT FUNGAL LIKE GROWTH

Slight Fungal type growth at some of the sheathing at a few areas, recommend treating with a fungicide. There are fogging methods that are now available for treatment

Recommendation

Contact a qualified professional.





7.4.1 Electrical

COVERPLATES

Improvements/Safety Concern

Electrical switch/Junction Box Covers missing or damaged, which is a potential shock is hazard, recommend cover plates are installed as a safety precaution. Easily correctable

Recommendation

Contact a handyman or DIY project



7.5.1 Fan/Duct

BATH FANS NOT EXHAUSTING OUT

Further Evaluation

Not All Bathroom fans exhaust completely to the exterior. Typically piping should actually connect to exterior vent, recommend correction. This condition can result in mold/fungal growth.

Recommendation

Contact a qualified professional.



7.8.1 Rodents/Pests

RODENT ACTIVITY

Improvements/Safety Concern

Indications of Rodent activity. Droppings and/or Urine/Carcasses. Rodent droppings can carry disease. rodents can also cause damage to insulation. Recommend conditions are investigated further by licensed Pest Control Company.

Recommendation

Contact a qualified pest control specialist.



7.8.2 Rodents/Pests

BURROWING

Burrowing in the insulation indicating rodent activity. Recommend further investigation by licensed pest control company

Recommendation

Contact a qualified pest control specialist.



8: GARAGE

Information

Condition: Condition

Walls and ceilings appeared in good condition overall. Accessible outlets operate. Light fixtures operate overall. Flooring is concrete; visible portions in good condition overall.



Doors: Doors Operational Overall

Door to interior operates, Door to the exterior operates

Electrical: GFCI reset

1
Garage south side



Electrical: Partial GFCI outlets

Floor : Flooring Condition

Concrete Flooring appeared in good condition overall.



Stair: Stairs

Steps appeared uniform.

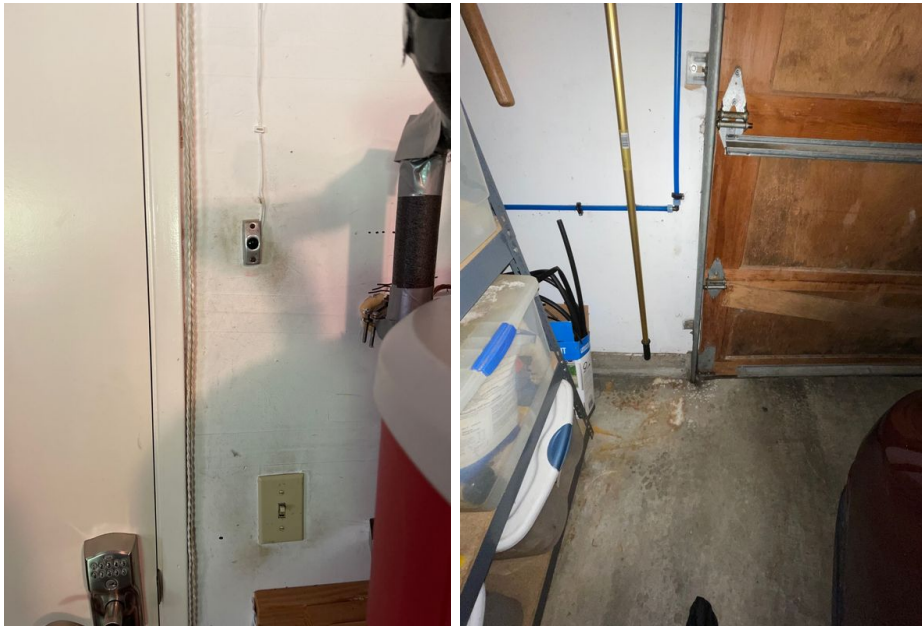


Window Deficiencies: Single Pane
Noted

Garage Doors: Garage Doors

Auto openers

Garage doors operate overall



Electrical: Master GFCI

Master GFCI for all exterior outlets and bathrooms is located in the garage .

Limitations

Garage Doors

NO TEST OF TENSION SAFETY, CAR PARKED UNDER OPERATOR

Observations

8.4.1 Electrical

JBOX COVERS

Open junction boxes were observed, which is a safety concern. Recommend installing proper covers as needed for safety. Easily correctable

Recommendation

Contact a handyman or DIY project



Improvements/Safety Concern



8.5.1 Floor

CRACKING NOT UNUSUAL

Cracking at the floor does not appear unusual.

Maintenance Item

9: GENERAL INTERIOR NOTE

Information

General Interior Notes

Single and double pane insulated glass windows, Doors & Windows that are accessible are considered operational unless otherwise noted, Cabinet doors that are accessible are considered operation unless otherwise noted

Observations

9.1.1 General Notes

GFCI REQUIREMENT DATES

• Outdoors (since 1973) • Bathrooms (since 1975) • Garages (since 1978) • Kitchens (since 1987) • Crawl spaces and unfinished basements (since 1990) • Wet bar sinks (since 1993) • Laundry and utility sinks (since 2005) Recommend upgrading areas to GFCI as a safety precaution

Recommendation

Contact a qualified professional.



10: ENTRYWAY

Information


Room:	Electrical : Electrical	Floor : Flooring Type
Walls and ceiling appear in good condition overall, Electrical outlets operated overall	Tested	Tile



Heating : Heating
Heat register operates.

11: WEST BATHROOM

Information

Room: Walls and ceiling appear in good condition overall, Electrical outlets operate overall, No visible plumbing deficiencies overall	Electrical : Outlet Type Outlets are GFCI protected overall	Counters: Counter Type Granite Counters
		
Sinks: Sinks Sink was in operable condition overall.	Exhaust Fans: Bathroom Fans Vent fan/fans operate overall	Toilet: Toilet was in operable condition
Heating : Heating Heat register operates., Heat lamp operates.	Floors: Floors Engineered wood floor	Tub: Tub Tub and shower were in good condition overall.

Observations

11.4.1 Sinks

STOPPER/SEAL/FUNCTION

Stopper did not seal tight or function correctly.

Recommendation

Contact a qualified professional.

 Maintenance Item



11.6.1 Toilet

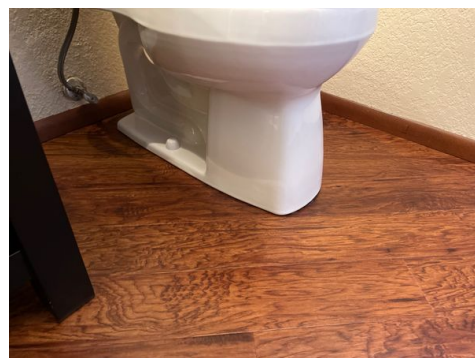
CAULKING

Maintenance Item

Toilet is not caulked to the floor: Toilets caulked at the floor are less likely to have leaking wax seals. Caulking reduces the potential for movement, limiting forces on the seal which might cause it to leak

Recommendation

Contact a handyman or DIY project



11.9.1 Tub

SPIGOT LEAK

Improvements/Safety Concern

Tub spigot leaks where it attaches to the wall, recommend conditions are investigated further and corrected. Sometimes tightening will remedy this condition.

Recommendation

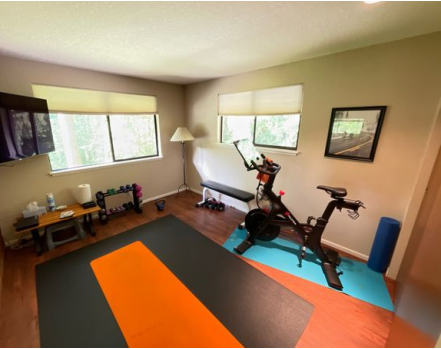
Contact a qualified professional.



12: BEDROOM 1

Information

Room: Walls and ceiling appear in good condition overall, Accessible outlets operate	Electrical : Electrical Tested	Floor: Flooring Type Laminate
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Heating : Heating
Heat register operates.

Observations

12.5.1 Doors

GUIDES

Guides missing at the base of closet door(s).

Recommendation

Contact a handyman or DIY project

 Maintenance Item



12.6.1 Window Deficiencies

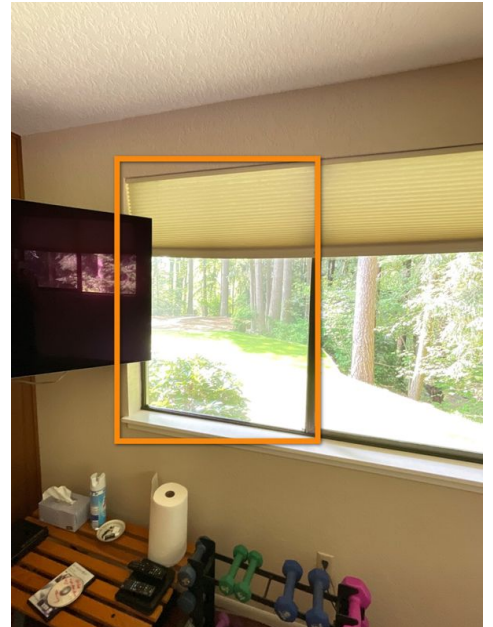
FAILED SEAL

Discoloration/condensation between the panes. This is an indication of a failed seal. Recommend conditions are corrected by licensed glass company.

 Further Evaluation

Recommendation

Contact a qualified window repair/installation contractor.



13: BEDROOM 2

Information

Room: Walls and ceiling appear in good condition overall, Accessible outlets operate	Electrical : Electrical Tested	Floor: Flooring Type Carpet
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Heating : Heating
Heat register operates.

Observations

13.5.1 Doors

GUIDES

Guides missing at the base of closet door(s).

Recommendation


Contact a handyman or DIY project

 Maintenance Item



14: 1/2 BATHROOM

Information

<p>Room:</p> <p>Walls and ceiling appear in good condition overall, Electrical outlets operate overall, No visible plumbing deficiencies overall</p>	<p>Electrical : Outlet Type</p> <p>Outlets are GFCI protected overall</p>	<p>Counters: Counter Type</p> <p>Composite Counters, Pedestal type</p>
		
<p>Sinks: Sinks</p> <p>Sink was in operable condition overall.</p>	<p>Exhaust Fans: Bathroom Fans</p> <p>Vent fan/fans operate overall</p>	<p>Toilet: Toilet was in operable condition</p>
<p>Heating: Heating</p> <p>Heat register operates.</p>	<p>Floors: Floors</p> <p>Tile Floor</p>	

Observations

14.6.1 Toilet

CAULKING AROUND BASE

Toilet is not caulked to the floor: Toilets caulked at the floor are less likely to have leaking wax seals. Caulking reduces the potential for movement, limiting forces on the seal which might cause it to leak

Recommendation

Contact a handyman or DIY project

Maintenance Item



15: LIVING ROOM

Information

Room:
Walls and ceiling appear in good condition overall, Accessible outlets operate

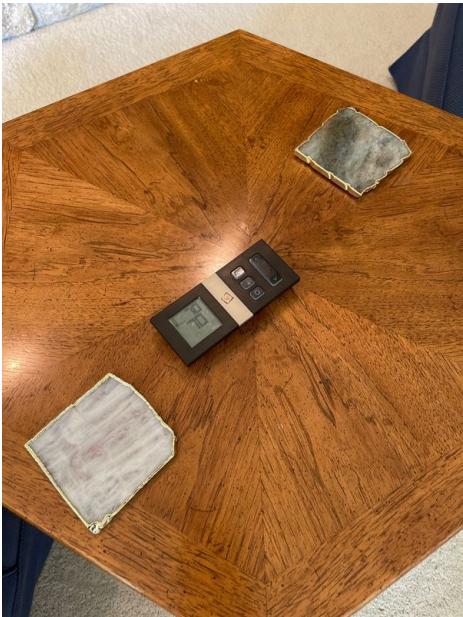
Floor : Flooring Type
Carpet

Electrical : Electrical
Tested

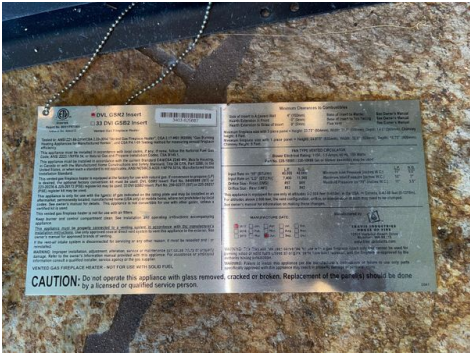


Heating : Heating
Heat register operates.

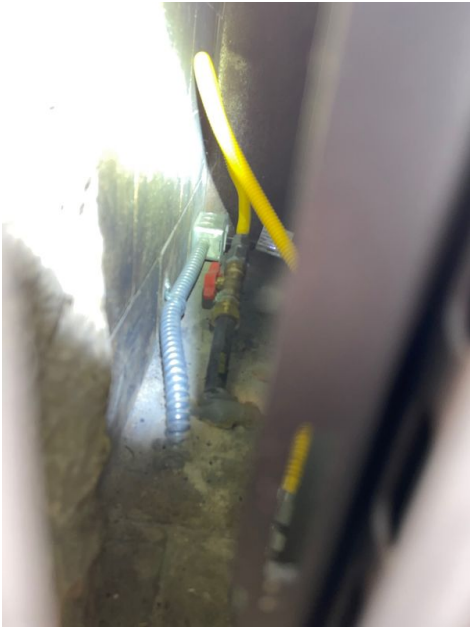
Fireplace : Control Type
Remote



Fireplace : Fireplace Type
Gas with Blower, Fireplace Operated Overall



Fireplace : Fireplace Gas shutoff location
Access Panel at Fireplace



Limitations

Fireplace
FIREPLACE OPERATION CONDITION

The inspector is not required to:

- Inspect flues and verify the presence of flue liners beyond what can be safely and readily seen from the roof or the firebox of a stove or fireplace.
- Ignite fires in a fireplace or stove.
- Determine the adequacy of draft.
- Perform a chimney smoke test.
- Inspect any solid fuel device being operated at the time of the inspection.
- Evaluate the installation or adequacy of fireplace inserts.
- Evaluate modifications to a fireplace, stove, or chimney.
- Dismantle fireplaces or stoves to inspect fireboxes or remove rain caps to inspect chimney flues.

Observations

15.5.1 Fireplace



Maintenance Item

DIRTY GLASS

Recommend cleaning fireplace glass, if discoloration is left for long periods it can become etched in the glass. Recommend cleaning fireplace glass, if discoloration is left for long periods it can become etched in the glass. Products with ammonia or regular glass cleaners should not be used as they can cause the glass to shatter

Recommendation

Contact a qualified professional.



15.6.1 Window Deficiencies



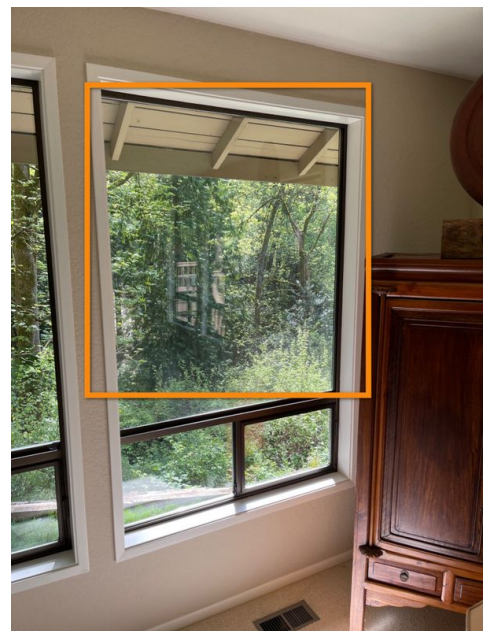
Further Evaluation

FAILED SEAL

Discoloration/condensation between the panes. This is an indication of a failed seal. Recommend conditions are corrected by licensed glass company.

Recommendation

Contact a qualified window repair/installation contractor.



16: DEN

Information

Room: Walls and ceiling appear in good condition overall, Electrical Outlets operate overall	Electrical : Electrical Inspected	Floor : Flooring Type Carpet
--	---	--



Heating : Heating
Heat register operates.

Observations

16.1.1 Room

CRACKING NOT UNUSUAL

 Maintenance Item

Cracking at the ceiling and or walls does not appear unusual.

Recommendation
Recommend monitoring.



17: DINING ROOM

Information

Room:
Walls and ceiling appear in good condition overall, Accessible outlets operate

Floor : Flooring Type
Wood

Electrical : Electrical
Tested

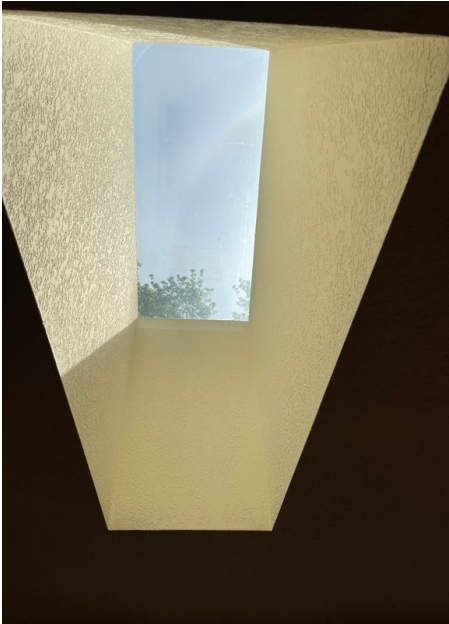


Heating : Heating
Heat register operates.

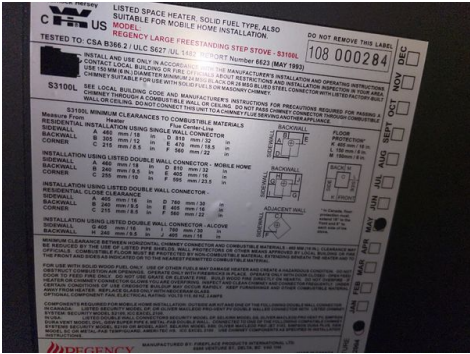
Fireplace : Control Type
Lighter or Match

Fireplace : Fireplace Gas shutoff location
N/A

Window Deficiencies : Sky light



Fireplace : Fireplace Type
Wood Stove



Limitations

Fireplace

FIREPLACE OPERATION CONDITION

The inspector is not required to:

- Inspect flues and verify the presence of flue liners beyond what can be safely and readily seen from the roof or the firebox of a stove or fireplace.
- Ignite fires in a fireplace or stove.
- Determine the adequacy of draft.
- Perform a chimney smoke test.
- Inspect any solid fuel device being operated at the time of the inspection.
- Evaluate the installation or adequacy of fireplace inserts.
- Evaluate modifications to a fireplace, stove, or chimney.
- Dismantle fireplaces or stoves to inspect fireboxes or remove rain caps to inspect chimney flues.

Observations

17.7.1 Fireplace

LEVEL 2 INSPECTION

NFPA recommends level 2 fireplace/chimney inspection on the sale of a home. Recommend further evaluation by licensed Chimney Sweep.

Recommendation

Contact a qualified chimney sweep.

 Further Evaluation

18: KITCHEN

Information

Room:
Walls and ceiling appear in good condition overall, Pantry

Floor : Flooring Type
Wood

Counters: Counter Type
Granite Counters



Electrical: Inspected

Dishwasher: Dishwasher
Dishwasher was in operable condition overall.

Disposal: Disposal
Disposal operates overall.

Vent Condition: Venting
Downdraft vent fan is operable

Sinks: Sinks
Sinks are in operable condition overall.

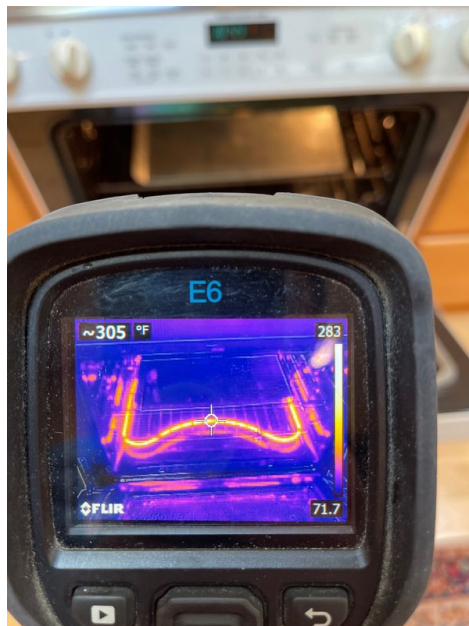
Heating : Heating
Heat register operates.

Window Deficiencies : Skylights



Stove/Oven: Stove/Ovens

Stove/ Oven Was In Operable Condition

**Refrigerator: Refrigerator**

Refrigerator was in operable condition overall.

**Observations****18.4.1 Electrical****NO GFCI (REQUIRED SINCE 1978)**

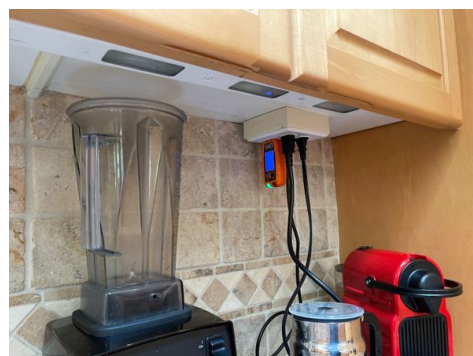
GFCI outlets have been required for Kitchens (since 1987) No GFCI protection present, strongly recommend GFCI outlets are installed as a safety precaution.

Recommendation

Contact a qualified electrical contractor.



Improvements/Safety Concern



All outlets

19: MASTER BEDROOM

Information

Room: Room Condition Walls and ceiling appear in good condition overall	Electrical : Electrical Inspected	Floor: Flooring Type Wood
---	---	-------------------------------------



Heating : Heating
Heat register operates.

Observations

19.6.1 Window Deficiencies

 Further Evaluation

FAILED SEAL

Discoloration/condensation between the panes. This is an indication of a failed seal. Recommend conditions are corrected by licensed glass company.

Recommendation

Contact a qualified window repair/installation contractor.



19.6.2 Window Deficiencies

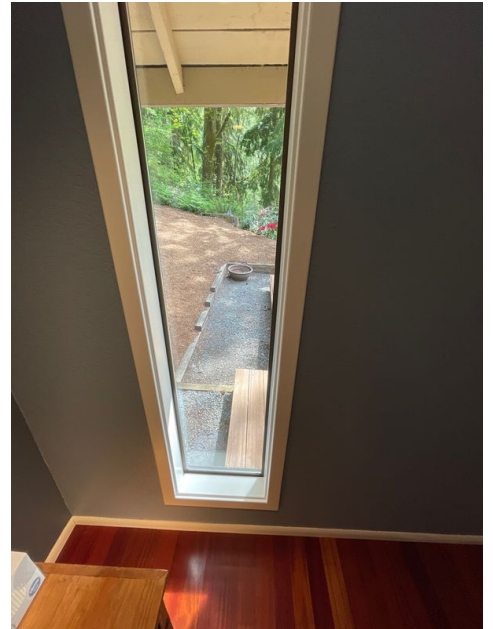
 Further Evaluation

NOT TEMPERED WITHIN 18"

Newer requirements are windows within 18 inches of the floor be tempered glass as a safety precaution.

Recommendation

Contact a qualified window repair/installation contractor.



20: MASTER BATHROOM

Information

Electrical : Outlet Type

Outlets are GFCI protected overall

Counters: Counter Type

Tile Counters

Sinks: Sinks

Sinks are in operable condition overall.

Exhaust Fans: Bathroom Fans

Vent fan/fans operate overall

Toilet: Toilet was in operable condition

Heating: Heating

Heat register operates., Electric Convector heater operates.



Floors: Floors

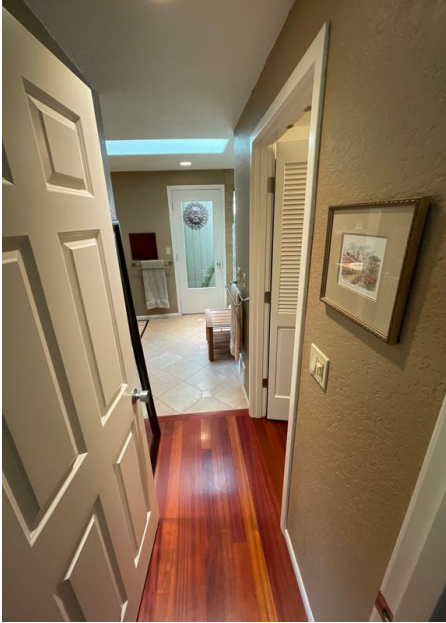
Tile Floor

Shower: Shower

Shower is in good condition overall.

Room:

Walls and ceiling appear in good condition overall, Electrical outlets operate overall



Observations

20.6.1 Toilet

CAULKING

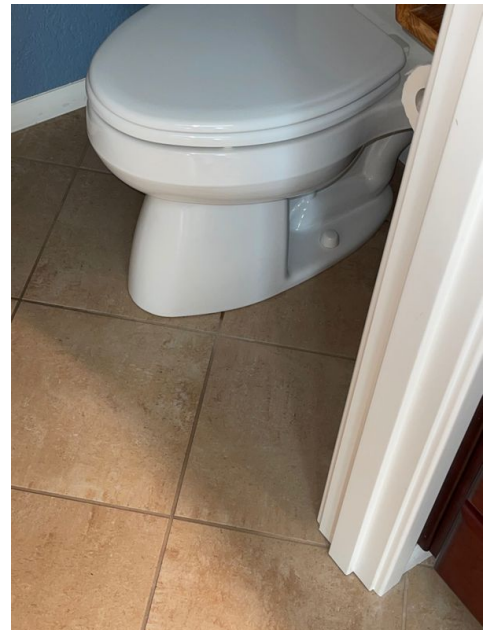
Toilet is not caulked to the floor: Toilets caulked at the floor are less likely to have leaking wax seals. Caulking reduces the potential for movement, limiting forces on the seal which might cause it to leak

Recommendation

Contact a handyman or DIY project



Maintenance Item



21: HALLWAY

Information

Room:	Floor: Flooring Type	Electrical: Electrical
Walls and ceiling appear in good condition overall, Accessible outlets operate	Wood	Tested



22: LAUNDRY

Information

Room:

Walls and ceiling appear in good condition overall

Electrical: Electrical

Inspected

Heating : Heating

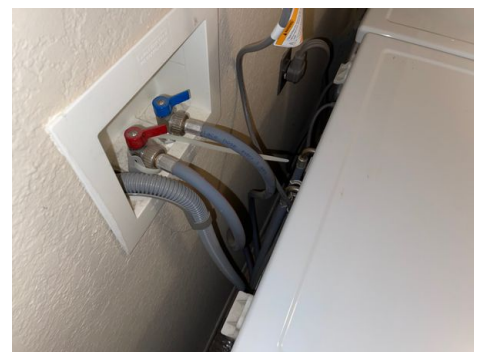
Heat register operates.

**Floor: Flooring Type**

Laminate

Washer: Washer operable

Washer was in operable condition overall

Washer: Washer faucets operable overall.**Vent Fans: Vent fan operates.**

Dryer: Dryer

Dryer appeared to exhaust to the exterior., Dryer is electric Unit

**Observations**

22.2.1 Electrical

NO GFCI PROTECTION

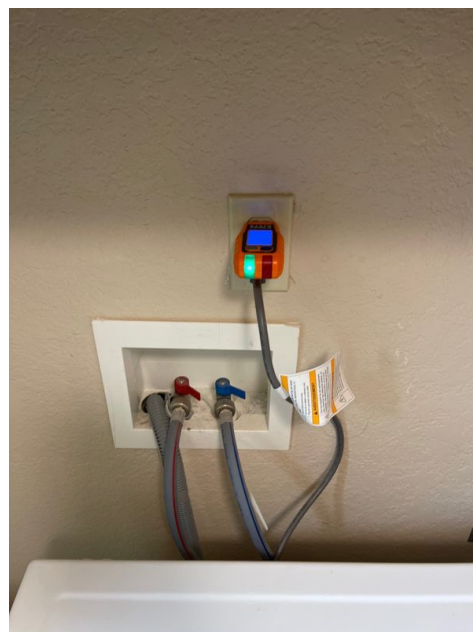
GFCI outlets have been required for Laundry and utility sinks (since 2005) No GFCI protection present,, strongly recommend GFCI outlets are installed as a safety precaution.

Recommendation

Contact a qualified electrical contractor.



Improvements/Safety Concern



23: FOUNDATION/CRAWLSPACES 1

Information

Foundation: Location

Exterior Access



Under the south deck

Framing: Framing

Visible framing appeared in good condition overall.

Drainage: Drainage Systems

[[DRY COMPLETELY]]Crawlspace area was dry; there were no visible indications of standing water presently

Foundation: Foundation Type

[[CONTINUOUS CONCRETE]]Continuous concrete foundation visible portion appeared in good condition overall., [[POST/PIER]]Post & Pier foundation appeared in good condition overall.



Ducts: Heating Duct

Heating ducts appeared securely attached overall.

**Vapor Barrier: Vapor Barrier**

Vapor Barrier was in place.

**Ventilation: Ventilation**

Ventilation appeared adequate.



Insulation Condition: Insulation Depth

[[6 SIX INCHES]]Insulation averages approximately 6 inches in depth;estimated R value 19. Newer requirements are R30 insulation content.

**Insulation Condition: Insulation Type**

[[BATT UNFINISH]]Unfinished fiberglass batts noted.



Observations

23.2.1 Framing

POST/BEAMS NOT STRAPPED

Post and beam connections not gusseted or strapped, recommend conditions are corrected.

Recommendation

Contact a qualified professional.

**Improvements/Safety Concern**



23.6.1 Vapor Barrier

CLEAR PLASTIC

Clear plastic vapor barrier, newer requirements are 6 mil black plastic vapor barrier.

Recommendation

Contact a qualified handyman.



Maintenance Item



23.9.1 Rodents/Pests

RODENT ACTIVITY



Improvements/Safety Concern

Indications of Rodent activity. Droppings and/or Urine/Carcasses. Rodent droppings can carry disease. rodents can also cause damage to insulation. Recommend conditions are investigated further by licensed Pest Control Company.

Recommendation

Contact a qualified pest control specialist.

23.9.2 Rodents/Pests

DROPPINGS

Recommendation

Contact a qualified pest control specialist.



23.9.3 Rodents/Pests

URINE STAINING

Recommendation

Contact a qualified pest control specialist.





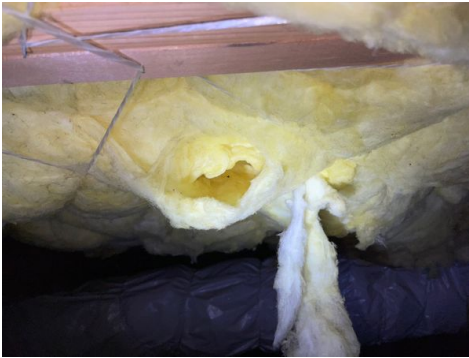
23.9.4 Rodents/Pests

BURROWING

Burrowing in the insulation indicating rodent activity. Recommend further investigation by licensed pest control company

Recommendation

Contact a qualified pest control specialist.



23.10.1 Insulation Condition

DAMAGED/MISSING

Insulation damaged/missing in areas of the crawlspace, recommend damaged/missing insulation be replaced

Recommendation

Contact a qualified professional.



24: HEAT/AC1

Information

Furnace or Boiler Location:
Furnace or Boiler Location
Garage



Furnace Gas Shutoff & Disconnect Heating Type: Heating Type
Location: Furnace Gas Shutoff & Electric Forced air
Disconnect Location
Furnace disconnect is located
below the furnace



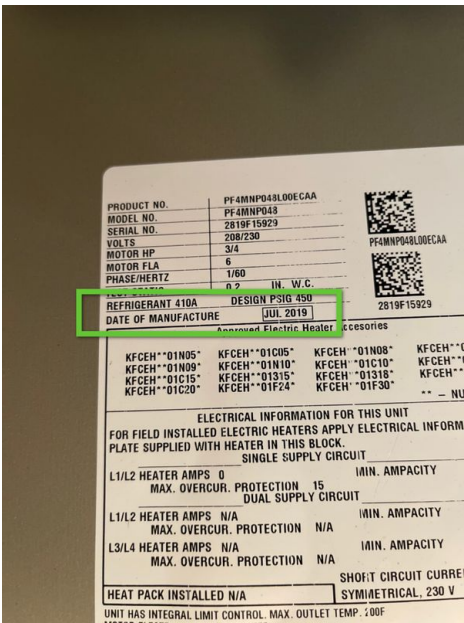
Heating Brand & Model: Heater
Brand, Model and Age
Payne



Heating Brand & Model:
Model/Serial

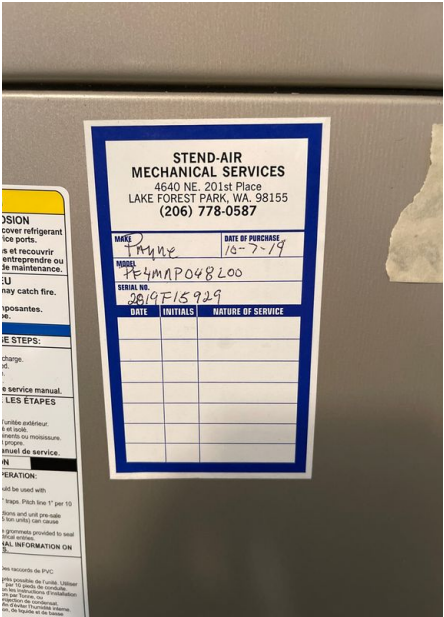


Age: Age
Average Lifespan 18 to 22 year, 1



July 2019

Heating condition: Service History
Not Serviced



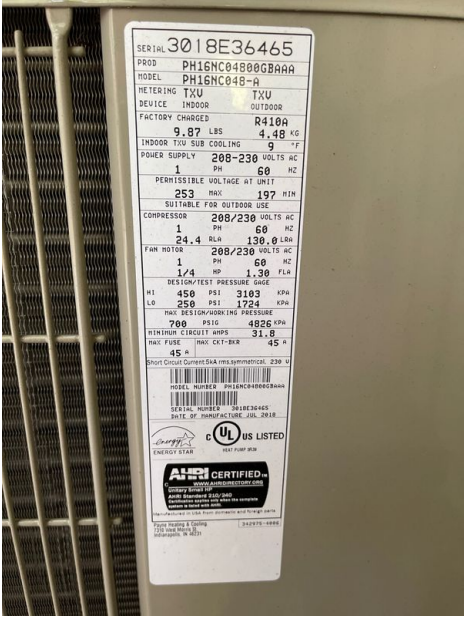
Heating condition: Heat operates Filters: Filter Locations
Above Furnace



Fresh Air: Fresh air exchange
no

AC Condition / Location: AC/Heat Pump Compressor Location
Compressor located at the north exterior

AC Condition / Location: Model & Serial #
Yes



AC Condition / Location:**Disconnect Location**

AC disconnect located adjacent to air conditioners



AC Condition / Location: Operational, 15 to 20 degree temperature differential between registers and cold air return

Yes



Refrigerant Lines: Condition



Observations

24.6.1 Heating condition

ELECTRIC FURNACE NO SERVICE

Last service date is over one year ago, or is unable to be determined. Although this unit appears to be operating properly from controls, there are areas which cannot be seen without specialized equipment and training. Furnace specialists recommend a complete inspection annually; consider having unit inspected by certified HVAC technician.

Recommendation

Contact a qualified HVAC professional.

 Further Evaluation

24.7.1 Filters

DIRTY

The furnace filter is dirty. Filters clean the air before it passes through the blower and heat exchanger. This helps to keep these furnace components working efficiently. Dirty Filters lessen life span of the Heating/AC equipment. It is recommended to change the filter every 3 months and then regular inspection & maintenance is advised.

Recommendation

Recommended DIY Project

 Maintenance Item



25: PLUMBING/WATER HEATER

Information

Plumbing: Plumbing Water Supply
Copper, CPVC

Plumbing: Plumbing Drain Type
Plastic

Water Heater Location: Heater Locations
Garage



Water Temperature: Observed



Water Heater Model & Serial #:
Model Serial #



Water Heater Type: Water Heater Type
Heat Pump Water Heater, 50 gallons

Age: Age

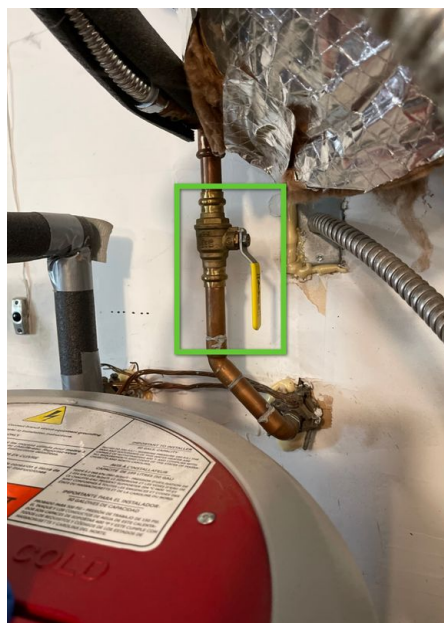
Average life 10 to 12 years, 8



10/2012

Straps/Expansion Tank/ Drip Pan: TPRV Condition: TPRV Valve**Seismic Straps/Expansion Tank Present**Seismic straps are in place.,
Expansion tank is in place.**Water Heater Shutoffs: Water Heater Shutoffs**

Water Shutoff Above Water heater, Inspected



Water shutoff

Observations**25.8.1 TPRV Condition****6 INCHES ABOVE**

The discharge tube discharges above six inches from slab, this should be lowered due to the possibility of scalding should a discharge situation happen.

**Improvements/Safety Concern**

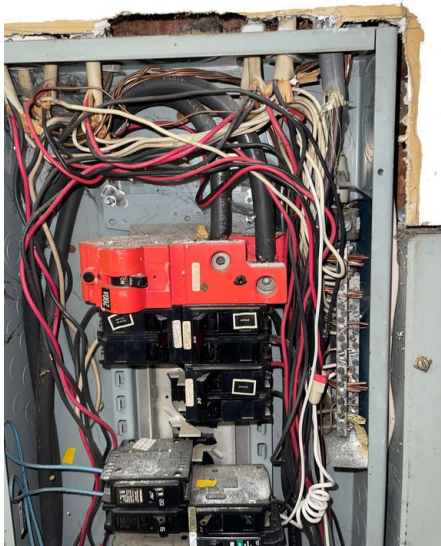
Recommendation
Contact a qualified professional.



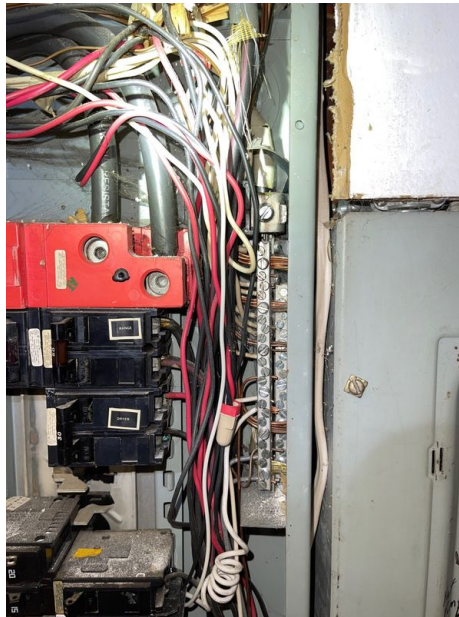
26: MAIN SERVICE ELECTRICAL 1

Information

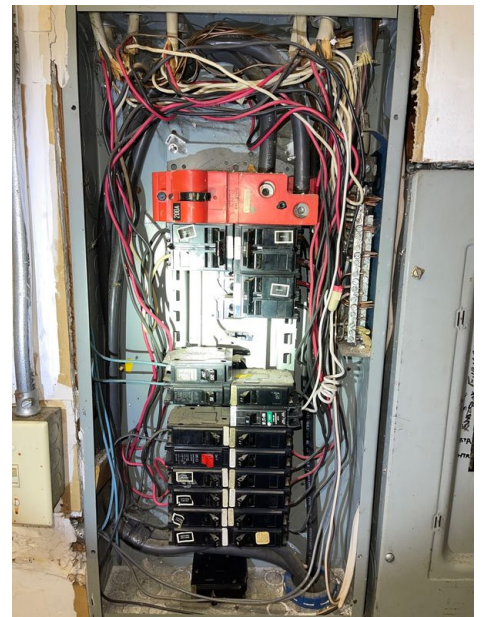
Electrical Panel: Electrical Service
200 AMP service; 4/0 Aluminum service entrance wires.



Grounding/Bonding: Grounding/Bonding/Outlets
Electrical service is grounded and bonded.



Wiring Type: Wiring Types
[[BREAKER]]Breaker system present. Wiring sizes conform to breaker sizes overall. Smaller branch circuit wiring is copper overall



Arc Fault Circuits: Arc Fault Circuits

AFCI were required in 2002 of any electrical systems updated in that time period

AFCI were required in 2002 of any electrical systems updated in that time period, Arc Fault Circuits in the panel for bedroom lights and outlets.

Electrical Panel: Location

Garage



GFCI: Gfci Requirements

[[GFCI DATES]]

- Outdoors (since 1973)
- Bathrooms (since 1975)
- Garages (since 1978)
- Kitchens (since 1987)
- Crawlspaces and unfinished basements (since 1990)
- Wet bar sinks (since 1993)
- Laundry and utility sinks (since 2005)

Observations

26.1.1 Electrical Panel

DISSIMILAR SIZE WIRES UNDER MAIN LUG

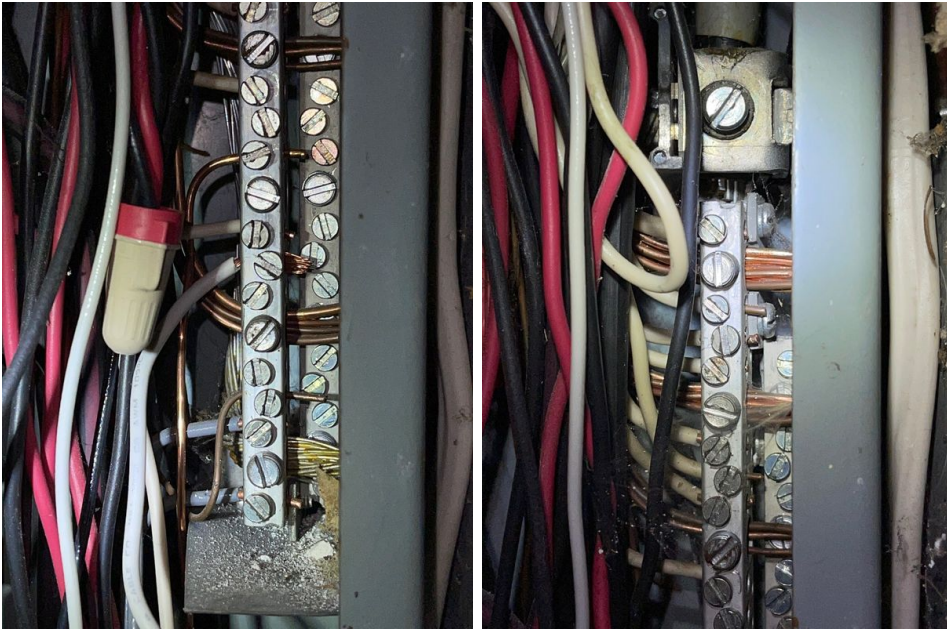
Dissimilar size wires under main lug, This condition is a potential fire hazard. Recommend further investigation and correction by licensed electrical contractor

Recommendation

Contact a qualified electrical contractor.



Improvements/Safety Concern



26.1.2 Electrical Panel

RESTRAINTS MISSING

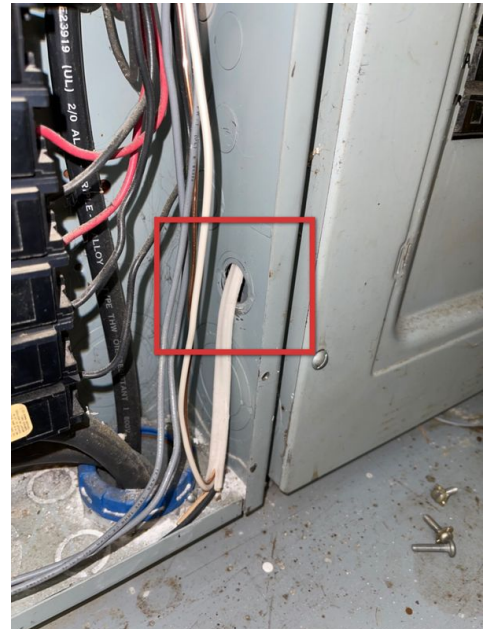
Bushings/restraints missing from around branch wire(s) entering panel box. Recommend correction by licensed electrical contractor

Recommendation

Contact a qualified electrical contractor.



Improvements/Safety Concern



27: MAIN SERVICE ELECTRICAL 2

Information

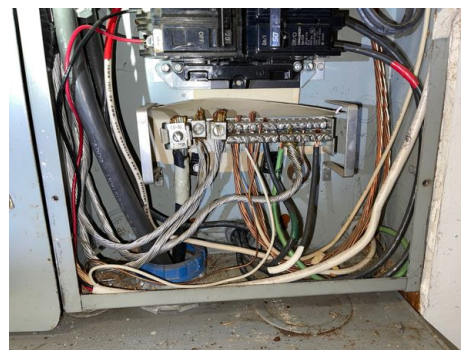
Electrical Panel: Location
Garage



Electrical Panel: Electrical Service
200 AMP service; 4/0 Aluminum service entrance wires.



Grounding/Bonding:
Grounding/Bonding/Outlets
Electrical service is grounded and bonded.



Wiring Type: Wiring Types
[[BREAKER]]Breaker system present. Wiring sizes conform to breaker sizes overall. Smaller branch circuit wiring is copper overall



Observations

27.1.1 Electrical Panel

NO MAIN DISCONNECT

No main disconnect, or more than six breakers needed to disconnect

Recommendation

Contact a qualified professional.



Further Evaluation



27.3.1 Wiring Type

INCORRECT SIZE

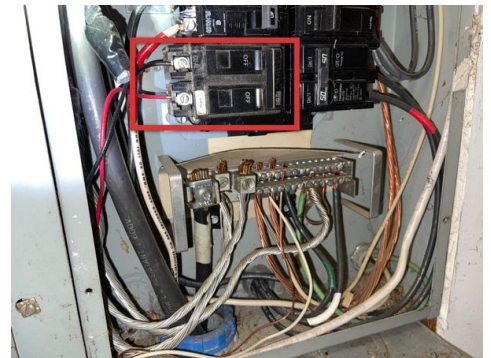
Some wiring sizes are incorrect for the size breaker stay connect too. This condition is a potential fire hazard. Recommend further investigation by licensed electrical contractor.

Recommendation

Contact a qualified electrical contractor.



Improvements/Safety Concern

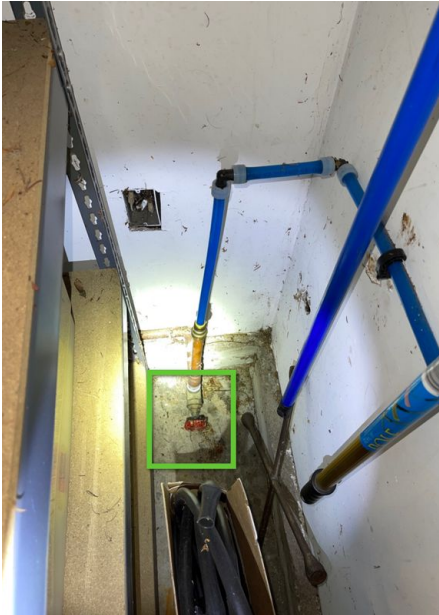


28: SHUTOFFS

Information

Main Water Shutoff: Main Water Shutoff Present

Main water shut off located at east wall of garage



West wall of garage

29: CARBON MONOXIDE DETECTORS

Information

Carbon Monoxide: CO Detectors
No


Observations

29.1.1 Carbon Monoxide

CARBON MONOXIDE DETECTORS NOT VISIBLE ON ALL LEVELS

Recommendation

Contact a qualified professional.

 Further Evaluation

29.1.2 Carbon Monoxide

AS OF APRIL 1ST 2012 IT IS REQUIRED THAT CARBON MONOXIDE DETECTORS ARE INSTALLED ON EACH LEVEL AND OUTSIDE OF BEDROOM AREAS

Recommend conditions are corrected.

Recommendation

Contact a qualified professional.

 Further Evaluation

30: SMOKE DETECTORS

Information

Smoke Detectors Present

No

Recommend smoke detectors are
installed if not present

Limitations

General

TESTING OF SMOKE DETECTORS NOT WITHIN THE SCOPE OF THIS INSPECTION

Recommend testing and replacing batteries on possession

31: EQUIPMENT